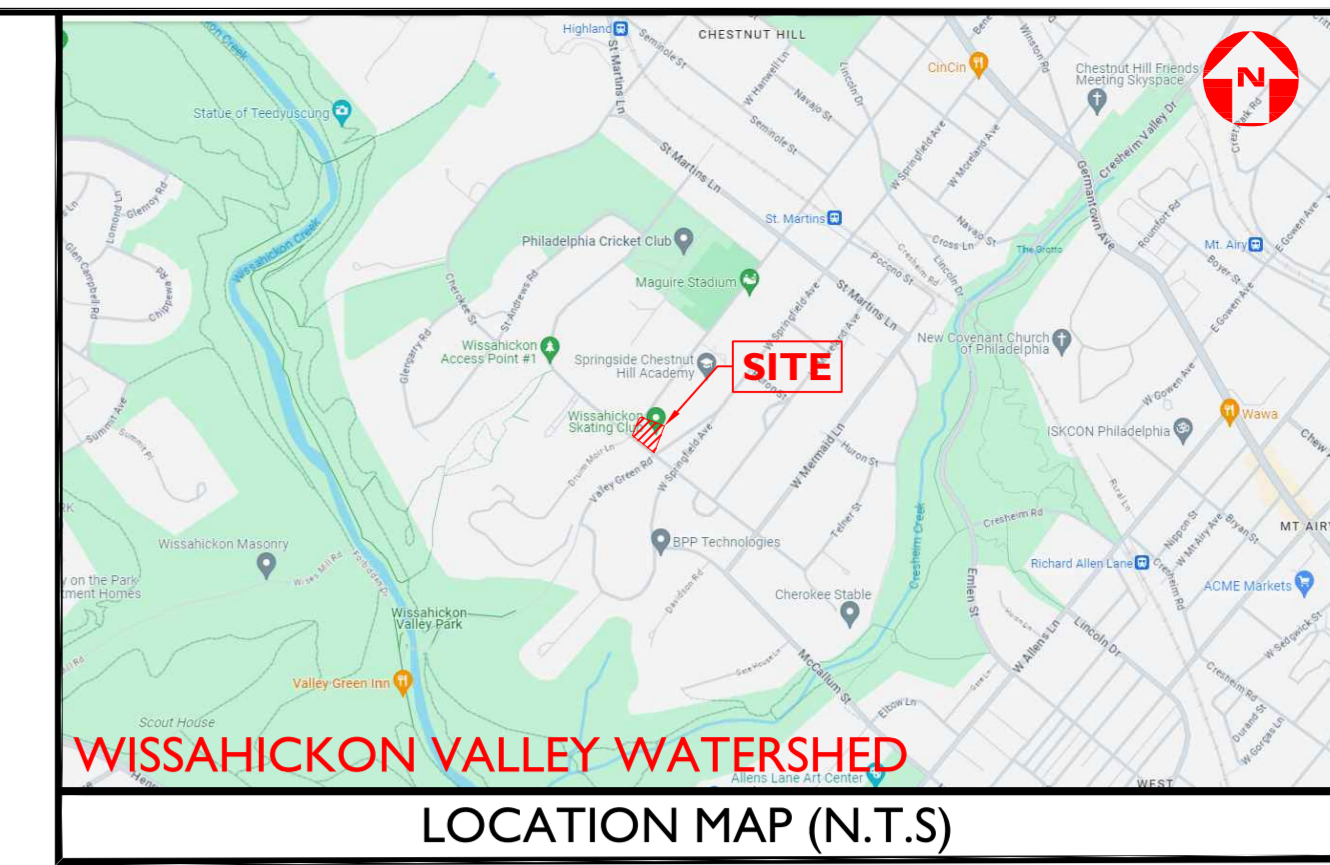
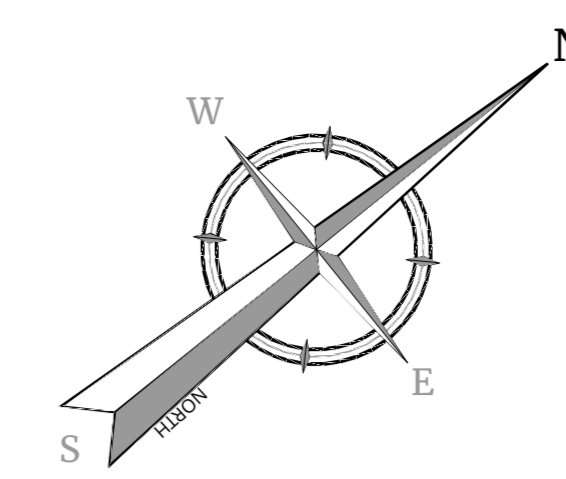


WILLOW GROVE AVENUE

(A.K.A. WEST WILLOW GROVE AVENUE) (60' WIDE R.O.W.) (13' - 34' - 13')
(LEGALLY OPEN - ON CITY PLAN) (ASPHALT ROADWAY)

NO PARKING
TWO WAY TRAFFIC



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Doing Business as **MASER**

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DITCHERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE
20233201366
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

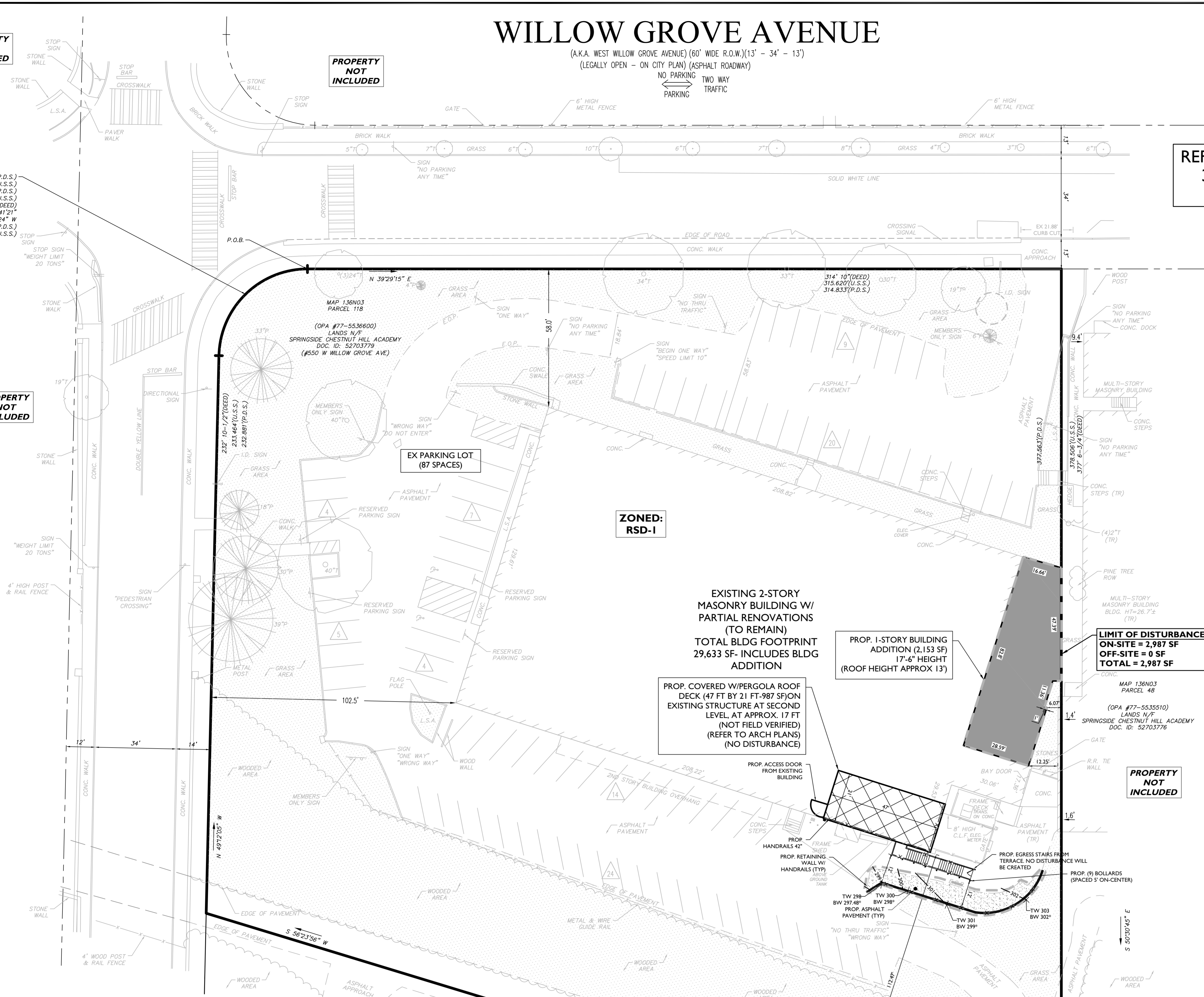
REFER TO SHEET 3 OF 3 FOR BUILDING ELEVATIONS

ZONING NOTES:

- THIS PLAN REFERENCE:
 - A PLAN PREPARED BY: BLUE MARSH ASSOCIATES, INC. 551 EASTON ROAD, SUITE A WARRINGTON, PA 18976
 - ENTITLED: "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY" #550 WILLOW GROVE AVENUE PARCEL 118 (OPA #77-5536600) CITY & COUNTY OF PHILADELPHIA, 22ND WARD COMMONWEALTH OF PENNSYLVANIA
 - DATED: 12/09/2023
 - PROJECT LOCATION: 550 WEST WILLOW GROVE, PHILADELPHIA, PA 19118
 - OWNER/APPLICANT: KEVIN HAMEL WISSAHICKON SKATING CLUB, 550 WEST WILLOW GROVE, PHILADELPHIA, PA 19118
 - ZONING DISTRICT: RSD-1, RESIDENTIAL SINGLE-FAMILY DETACHED-1
 - OVERLAY DISTRICTS: OPEN SPACE AND NATURAL RESOURCES - STEEP SLOPE PROTECTION REDO EIGHT DISTRICT OVERLAY DISTRICT WWOV WISSAHICKON WATERSHED OVERLAY DISTRICT
- ZONING USE:**
A. EXISTING, ACTIVE RECREATION - NO CHANGE (ENC)
B. PROPOSED, ONE-STORY BUILDING ADDITION AND COVERED ROOF DECK (987 SF) (N) - NO CHANGE TO EXISTING USE (ENC)
- | DESCRIPTION | REQUIRED | EXISTING | PROPOSED |
|--|----------------|---------------------------------|---------------------------------|
| MIN. DISTRICT AREA (SF) | N/A | N/A | N/A |
| MIN. STREET FRONTAGE AS TAKEN FROM THE FRONT LOT LINE (FT) | N/A | N/A | N/A |
| MIN. LOT AREA (SF) | 10,000 SQ. FT. | 114,922 SF | NO CHANGES |
| MAX. OCCUPIED AREA(S) | 35% | 24.9% 28,691 SF (28,550.81 PDS) | 25.8% 29,687 SF (29,541.95 PDS) |
| MIN. FRONT YARD SETBACK (FT) | 35 FT | 58 FT (102.5 FT) (12.47 FT) | NO CHANGES |
| MIN. SIDE YARD SETBACK (FT) | N/A | 4.7 FT | 0 FT |
| MIN. REAR YARD (FT) | 30 FT | N/A | NO CHANGES |
| MAX. HEIGHT (FT) | 38 FT | 34 FT | 17'-4" (NEW BLDG ADDITION) |
- PARKING & REQUIREMENTS**
- | DESCRIPTION | EXISTING | PROPOSED |
|--|---------------|-----------|
| PARKING SPACES | 30 SPACES [1] | 87 SPACES |
| [1] PARKING SPACE RATIO: GROSS FLOOR AREA / 1,000 SF = 29,633 / 1,000 = 29.63 = 30 SPACES | | |
| BICYCLE PARKING SPACES: | | |
| BICYCLE SPACES | 3 SPACES [2] | 0 SPACES |
| [2] BICYCLE SPACE RATIO: GROSS FLOOR AREA / 10,000 SF = 29,633 / 10,000 = 2.963 = 3 SPACES | | |
- LANDSCAPE**
MIN. STREET TREES
WEST GROVE AVENUE
0 TREES
N/A
NO CHANGES
- NOTES:**
(N) - VARIANCE
(ENC) - EXISTING NON CONFORMING TO ZONING REQUIREMENTS
5. COLLIERS ENGINEERING AND DESIGN'S BUSINESS PRIVILEGE NUMBER IS 305518.
6. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PHILADELPHIA, PHILADELPHIA WATER DEPARTMENT (PWD), ZONING REQUIREMENTS, AND PHILADELPHIA STREETS DEPARTMENT AS PER THE PHILADELPHIA CODE. ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA DATUM. LOT DIMENSIONS & EASEMENT DIMENSIONS ARE BASED ON PHILADELPHIA DISTRICT STANDARDS UNLESS OTHERWISE NOTED.
8. PLAN PREPARED AS PER INSTRUCTIONS OF THE APPLICANT/OWNER.
9. ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED.
10. PWD EISA NO. N/A. LIMIT OF DISTURBANCE IS LESS THAN 5,000 SF.
11. ACCESSIBLE SPACES INCLUDING VAN ACCESSIBLE SHALL COMPLY WITH CITY OF PHILADELPHIA ZONING CODE REQUIREMENTS, SECTION 14-802(5).
12. ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE PHILADELPHIA CITY PLANNING COMMISSION (P.C.P.C.) AND PWD GUIDELINES.
13. TRASH PICK-UP WILL BE VIA PRIVATE COLLECTION.
14. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS AND DETAILS.
15. ALL FENCING MUST BE 50% OPAQUE OR LESS.
16. BUILDING AND SITE DEMOLITION MUST COMPLY WITH THE CITY OF PHILADELPHIA DEMO PERMIT APPLICATION AND GUIDELINES. THE APPLICANT MUST APPLY AND OBTAIN A DEMOLITION PERMIT (IF APPLICABLE).
17. THIS PLAN IS FOR ZONING PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. CONTRACTOR SHALL REFER TO CONSTRUCTION DOCUMENTS FOR FINAL DESIGN.

CHEROKEE STREET
(ASPHALT ROADWAY) (60' WIDE R.O.W.) (12' - 34' - 14')
(LEGALLY OPEN - ON CITY PLAN)

PROPERTY NOT INCLUDED



ZONED: RSD-1

EXISTING 2-STORY MASONRY BUILDING W/ PARTIAL RENOVATIONS (TO REMAIN)
TOTAL BLDG FOOTPRINT 29,633 SF. INCLUDES BLDG ADDITION

PROP. 1-STORY BUILDING ADDITION (2,153 SF)
17'-6" HEIGHT (ROOF HEIGHT APPROX 13')

LIMIT OF DISTURBANCE
ON-SITE = 2,987 SF
OFF-SITE = 0 SF
TOTAL = 2,987 SF

PROP. COVERED W/PERGOLA ROOF DECK (47 FT BY 21 FT-987 SF) ON EXISTING STRUCTURE AT SECOND LEVEL, AT APPROX. 17 FT (NOT FIELD VERIFIED) (REFER TO ARCH PLANS) (NO DISTURBANCE)

IMPERVIOUS CALCULATION:

WVO	CATEGORY 5 REDEVELOPMENT
WATER DEPARTMENT DEVELOPMENT TYPE:	114,922 SF
TOTAL GROSS LOT AREA (SF):	71,881 SF
EXISTING IMPERVIOUS AREA (SF):	73,380 SF*
PROPOSED IMPERVIOUS AREA (SF):	2.04%
PERCENTAGE INCREASE (%):	28,691 SF
TOTAL OCCUPIED AREA - EXISTING (SF):	29,687 SF
TOTAL OCCUPIED AREA - PROPOSED (SF):	3.36%
PERCENTAGE INCREASE (%):	28,637 SF
TOTAL GROSS BUILDING FOOTPRINT - EXISTING FACILITY (SF):	996 SF
TOTAL GROSS BUILDING FOOTPRINT - NEW CONSTRUCTION (SF):	29,633 SF
TOTAL GROSS BUILDING FOOTPRINT - PROPOSED (SF):	3.36%
PERCENTAGE INCREASE (%):	
* INCLUDES 1,534 SF NEW IMPERVIOUS (996 SF BLDG + 503 SF NEW ASPHALT)	

STEEP SLOPES CALCULATION 14-704.2:

TOTAL STEEP SLOPES DISTURBANCE (SF):	1,499 SF**
TOTAL GROSS LOT AREA (SF):	114,922 SF
STEEL SLOPES PERCENTAGE:	1.30%
** INCLUDES ASPHALT AND NEW BUILDING CONSTRUCTION	

In accordance with the terms and provisions of Section 14-704 (2) of the Philadelphia Code pertaining to

STEEP SLOPE PROTECTION

- APPROVED
- DISAPPROVED
- NOT APPLICABLE (< 15% slope OR < 1,400 sq. ft. disturbance)
- EARTH MOVING PLAN SUBMITTED WITH THIS APPLICATION

Applied Electronically By: Ian Hegarty
July 3, 2024
Ledger No. **E-5734**
Philadelphia City Planning Commission

The application proposes site clearing and earth moving activity on portions of the lot where the slope of land is twenty-five percent (25%) or greater

LOD = 3,538 SF

SCOPE OF WORK:
REMOVAL OF ONE-STORY EXISTING BUILDING, AND TO CONSTRUCT A ONE-STORY BUILDING ADDITION. CONSTRUCTION OF A COVERED WITH PERGOLA ROOF DECK.

PROPOSED DEVELOPMENT DOES NOT REQUIRE THE REMOVAL OF EXISTING TREES ON SITE AND IT IS EXEMPT FROM SECTION 14-705(1) (.2)

ABBREVIATIONS

PDS = PHILADELPHIA DISTRICT STANDARD	UP = UTILITY POLE
U.S.S. = UNITED STATE STANDARD	LP = LIGHT POLE
FF = FINISH FLOOR	TBR = TO BE REMOVED
UV = UNKNOWN VALVE	MH = MANHOLE
DEF = DEPRESSED	BOL = BOLLARD
CL = CENTER LINE	GR = GRATE
D.C. = DEPRESSED CURB	TR = TO REMAIN
BC = BOTTOM OF CURB	TW = TOP OF WALL
TC = TOP OF CURB	BW = BOTTOM OF WALL
	CP = CITY PLAN

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
RIGHT OF WAY / ADJACENT PROPERTY LINE	CURB	DIRECTION OF TRAFFIC FLOW	MANHOLE
PROPERTY LINE	BUILDING AREA	STREET LIGHT	WATER VALVE
CONCRETE PAVEMENT	TERRACE ROOF	GAS VALVE	CLEANOUT
LIMIT OF DISTURBANCE / SAW CUT LINE	ASPHALT AREA	UNKNOWN VALVE	VENT
HANDRAILS	PARKING BOLLARD	UTILITY POLE	TRAFFIC SIGNAL POLE
		UTILITY POLE W/ STREET LIGHT	INLET
		EDGE OF ASPHALT PAVEMENT	

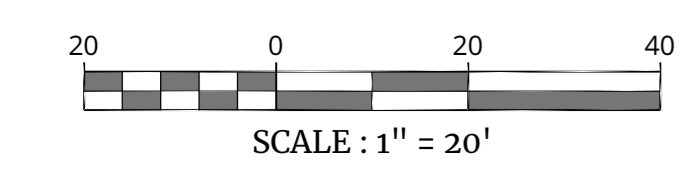
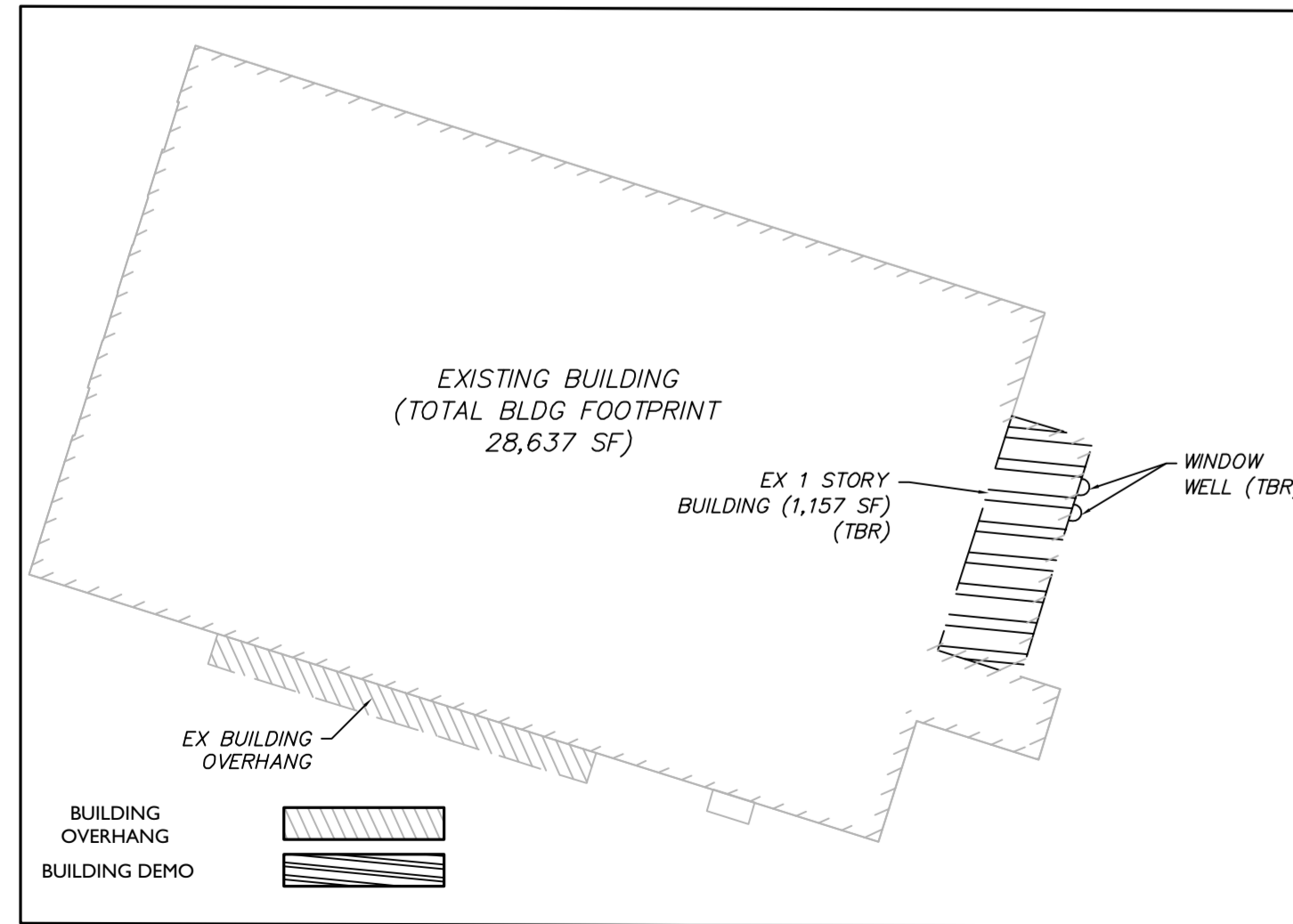
In accordance with the terms and provisions of Section 14-704 (2) of the Philadelphia Code pertaining to

REAR LOT LINE, PRIMARY FRONTAGE, AND REAR STREET

WISSAHICKON WATERSHED OVERLAY DISTRICT
IMPERVIOUS COVERAGE CATEGORY: 5

- APPROVED
- DISAPPROVED
- EARTH MOVING PLAN SUBMITTED WITH THIS APPLICATION

Applied Electronically By: Ian Hegarty
July 3, 2024
Ledger No. **E-5734**
Philadelphia City Planning Commission



REV	DATE	DESCRIPTION	DRAWN BY	DATE
1	7/3/2024	ISSUE FOR PERMITS	MAB	
2	7/3/2024	REVISED PERMITS	MAB	

REV	DATE	DESCRIPTION	DRAWN BY	DATE
1	7/3/2024	ISSUE FOR PERMITS	MAB	
2	7/3/2024	REVISED PERMITS	MAB	

NOT APPROVED FOR CONSTRUCTION

Rhett N. Chiliberti
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE073158
COLLIERS ENGINEERING & DESIGN, INC.

ZONING PLANS
FOR
WISSAHICKON SKATING CLUB

PROJECT TYPE:
PROPOSED BUILDING ADDITION & PROPOSED ROOF DECK DEVELOPMENT

LOCATION:
550 WEST WILLOW GROVE, PHILADELPHIA, PA, 19118

PHILADELPHIA
2 Penn Center, Suite 700
1500 JK Boulevard
Philadelphia, PA 19102
Phone: 215.861.9021
RHE@CE&D.COM

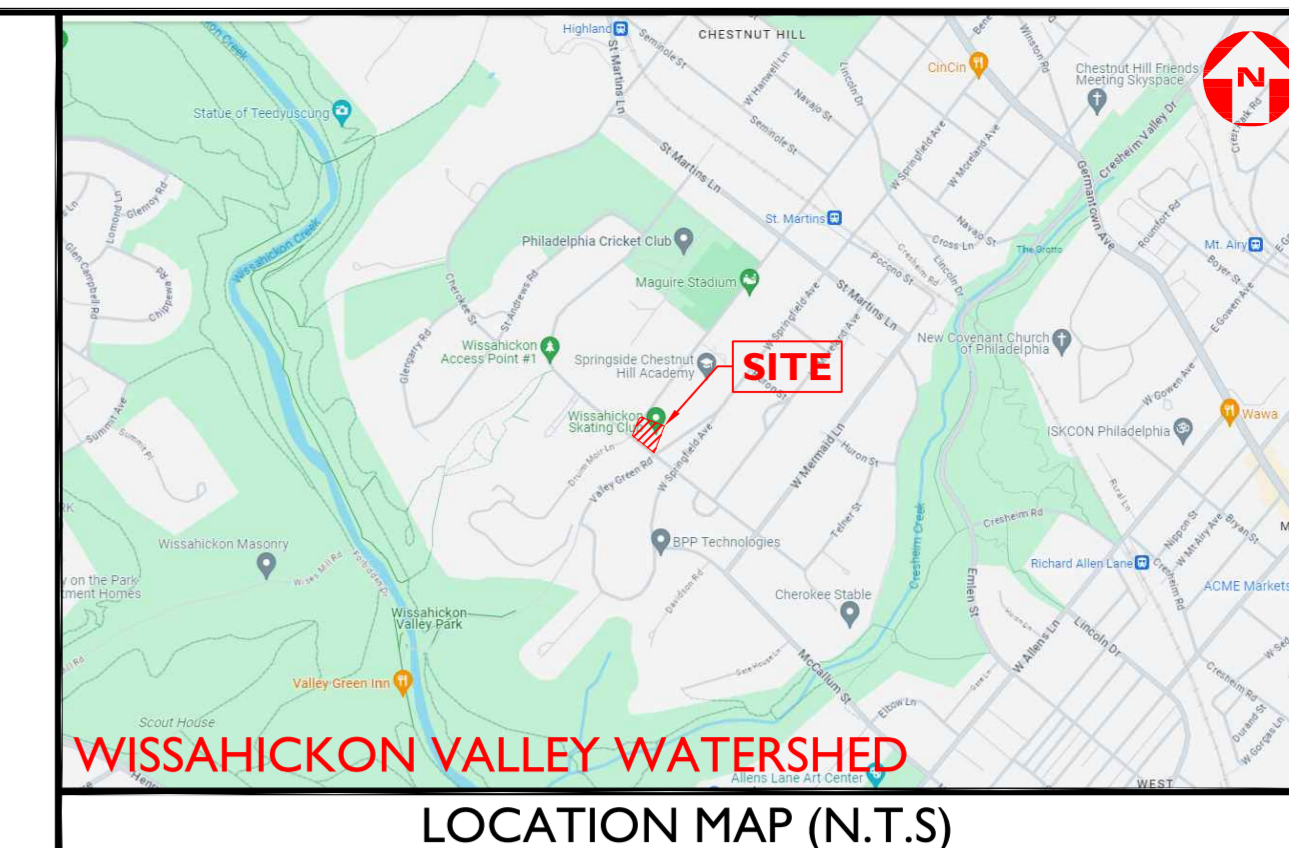
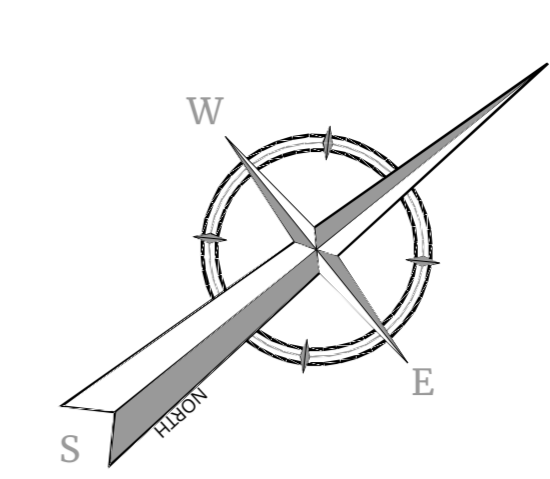
Colliers
Engineering & Design
COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN
DATE: 12/19/23
PROJECT NUMBER: 23012482A
DRAWING NAME: C-LAY1
SHEET TITLE: ZONING PLAN
SHEET NUMBER: 1 of 3

WILLOW GROVE AVENUE

(A.K.A. WEST WILLOW GROVE AVENUE) (60' WIDE R.O.W.) (13' - 34' - 13')
(LEGALLY OPEN - ON CITY PLAN) (ASPHALT ROADWAY)

NO PARKING
TWO WAY TRAFFIC



LOCATION MAP (N.T.S.)

Colliers

Engineering & Design

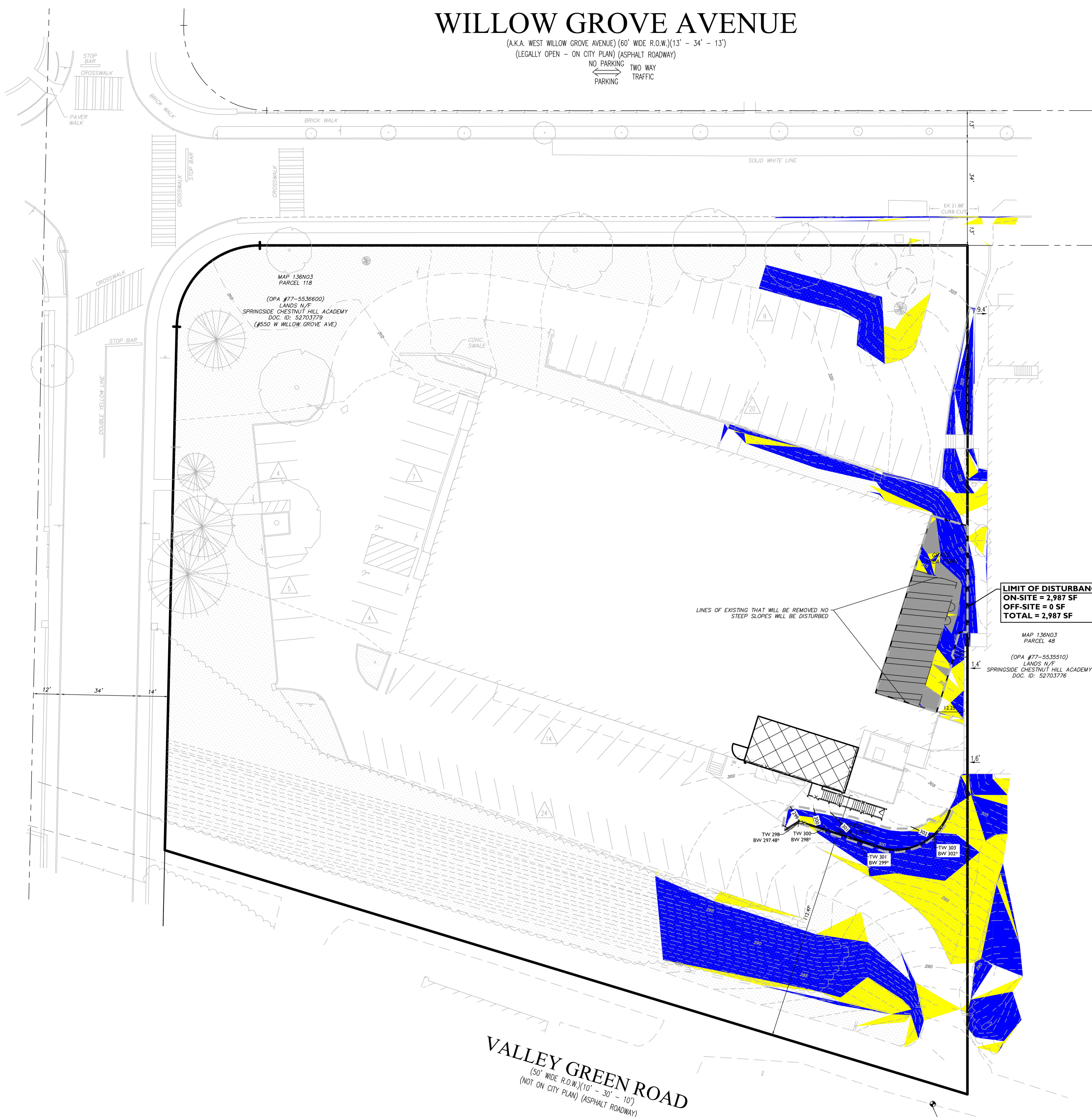
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PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EDUCATORS, SUPERVISORS, OR ANY PERSON PREPARING TO OBTAIN THE EARTH'S SURFACE OTHERWISE IN ANY STATE
20233201366
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

CHEROKEE STREET
(ASPHALT ROADWAY) (60' WIDE R.O.W.) (12' - 34' - 14')
PARKING
TWO WAY TRAFFIC



ZONING NOTES:

- THIS PLAN REFERENCE:
 - A PLAN PREPARED BY: BLUE MARSH ASSOCIATES, INC. 551 EASTON ROAD, SUITE A WARRINGTON, PA 18976
 - ENTITLED: "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY" #550 WILLOW GROVE AVENUE #949 136ND PARCEL 118 (OPA #77-5536600) CITY & COUNTY OF PHILADELPHIA, 22ND WARD COMMONWEALTH OF PENNSYLVANIA
 - DATED: 12/09/2023
 - PROJECT LOCATION: 550 WEST WILLOW GROVE, PHILADELPHIA, PA 19118
 - OWNER/APPLICANT: KEVIN HAMEL WISSAHICKON SKATING CLUB, 550 WEST WILLOW GROVE, PHILADELPHIA, PA 19118
 - ZONING DISTRICT: RSD-1, RESIDENTIAL SINGLE-FAMILY DETACHED-1
 - OVERLAY DISTRICTS: OPEN SPACE AND NATURAL RESOURCES - STEEP SLOPE PROTECTION, REDO EIGHT DISTRICT OVERLAY DISTRICT, WWOV WISSAHICKON WATERSHED OVERLAY DISTRICT
 - ZONING USE:
 - A. EXISTING: ACTIVE RECREATION - NO CHANGE (ENC)
 - B. PROPOSED: ONE-STORY BUILDING ADDITION AND COVERED ROOF DECK (987 SF) (N) - NO CHANGE TO EXISTING USE (ENC)
- | DESCRIPTION | REQUIRED | EXISTING | PROPOSED |
|--|----------------|---------------------------------|---------------------------------|
| MIN. DISTRICT AREA (SF) | N/A | N/A | N/A |
| MIN. STREET FRONTAGE AS TAKEN FROM THE FRONT LOT LINE (FT) | N/A | N/A | N/A |
| MIN. LOT AREA (SF) | 10,000 SQ. FT. | 114,922 SF | NO CHANGES |
| MAX. OCCUPIED AREA(S) | 35% | 24.9% 28,691 SF (28,550.81 PDS) | 25.8% 29,687 SF (29,541.95 PDS) |
| MIN. FRONT YARD SETBACK (FT) | 35 FT | 58 FT (102.5 FT) (112.47 FT) | NO CHANGES |
| MIN. SIDE YARD SETBACK (FT) | N/A | 4.7 FT | 0 FT |
| MIN. REAR YARD (FT) | 30 FT | N/A | NO CHANGES |
| MAX. HEIGHT (FT) | 38 FT | 34 FT | NO CHANGES |
- PARKING & REQUIREMENTS**
- PARKING SPACES: 30 SPACES [1] 87 SPACES NO CHANGES
 [1] PARKING SPACE RATIO: GROSS FLOOR AREA / 1,000 SF = 29.633 / 1,000 = 29.63 = 30 SPACES
- BICYCLE PARKING SPACES:**
- BICYCLE SPACES: 3 SPACES [2] 0 SPACES NO CHANGES
 [2] BICYCLE SPACE RATIO: GROSS FLOOR AREA / 10,000 SF = 29.633 / 10,000 = 2.963 = 3 SPACES
- LANDSCAPE**
- MIN. STREET TREES: WEST GROVE AVENUE 0 TREES N/A NO CHANGES
- NOTES:
 (N) - VARIANCE
 (ENC) - EXISTING NON CONFORMING TO ZONING REQUIREMENTS
 5. COLLIERS ENGINEERING AND DESIGN'S BUSINESS PRIVILEGE NUMBER IS 305518.
 6. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PHILADELPHIA, PHILADELPHIA WATER DEPARTMENT (PWD), ZONING REQUIREMENTS, AND PHILADELPHIA STREETS DEPARTMENT AS PER THE PHILADELPHIA CODE.
 7. ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA DATUM. LOT DIMENSIONS & EASEMENT DIMENSIONS ARE BASED ON PHILADELPHIA DISTRICT STANDARDS UNLESS OTHERWISE NOTED.
 8. PLAN PREPARED AS PER INSTRUCTIONS OF THE APPLICANT/OWNER.
 9. ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED.
 10. PWD ERB NO.: N/A. LIMIT OF DISTURBANCE IS LESS THAN 5,000 SF.
 11. ACCESSIBLE SPACES INCLUDING VAN ACCESSIBLE SHALL COMPLY WITH CITY OF PHILADELPHIA ZONING CODE REQUIREMENTS, SECTION 14-802(5).
 12. ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE PHILADELPHIA CITY PLANNING COMMISSION (P.C.P.C.) AND PWD GUIDELINES.
 13. TRASH PICK-UP WILL BE VIA PRIVATE COLLECTION.
 14. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS AND DETAILS.
 15. ALL FENCING MUST BE 50% OPAQUE OR LESS.
 16. BUILDING AND SITE DEMOLITION MUST COMPLY WITH THE CITY OF PHILADELPHIA DEMO PERMIT APPLICATION AND GUIDELINES. THE APPLICANT MUST APPLY AND OBTAIN A DEMOLITION PERMIT (IF APPLICABLE).
 17. THIS PLAN IS FOR ZONING PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. CONTRACTOR SHALL REFER TO CONSTRUCTION DOCUMENTS FOR FINAL DESIGN.

LIMIT OF DISTURBANCE
ON-SITE = 2,987 SF
OFF-SITE = 0 SF
TOTAL = 2,987 SF

IMPERVIOUS CALCULATION:

WVOV	CATEGORY 5
WATER DEPARTMENT DEVELOPMENT TYPE:	REDEVELOPMENT
TOTAL GROSS LOT AREA (SF):	114,922 SF
EXISTING IMPERVIOUS AREA (SF):	71,881 SF
PROPOSED IMPERVIOUS AREA (SF):	73,380 SF*
PERCENTAGE INCREASE (%):	2.04%
TOTAL OCCUPIED AREA - EXISTING (SF):	28,691 SF
TOTAL OCCUPIED AREA - PROPOSED (SF):	29,687 SF
PERCENTAGE INCREASE (%):	3.36%
TOTAL GROSS BUILDING FOOTPRINT - EXISTING FACILITY (SF):	28,637 SF
TOTAL GROSS BUILDING FOOTPRINT - NEW CONSTRUCTION (SF):	996 SF
TOTAL GROSS BUILDING FOOTPRINT - PROPOSED (SF):	29,633 SF
PERCENTAGE INCREASE (%):	3.36%
* INCLUDES 1,534 SF NEW IMPERVIOUS (996 SF BLDG + 503 SF NEW ASPHALT)	
STEEP SLOPES CALCULATION 14-704.2:	
TOTAL STEEP SLOPES DISTURBANCE (SF):	1,499 SF**
TOTAL GROSS LOT AREA (SF):	114,922 SF
STEEP SLOPES PERCENTAGE:	1.30%
** INCLUDES ASPHALT AND NEW BUILDING CONSTRUCTION	

NOT APPROVED FOR CONSTRUCTION

Rhett N. Chiliberti
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE073158
COLLIERS ENGINEERING & DESIGN, INC.

ZONING PLANS
FOR
WISSAHICKON SKATING CLUB

PROJECT TYPE:
PROPOSED BUILDING ADDITION & PROPOSED ROOF DECK DEVELOPMENT

LOCATION:
550 WEST WILLOW GROVE, PHILADELPHIA, PA, 19118

Colliers
Engineering & Design

SCALE: AS SHOWN DATE: 12/19/23 DRAWN BY: MPO CHECKED BY: MAB
PROJECT NUMBER: 23012482A DRAWING NAME: C-LAY1

SHEET TITLE:
STEEP SLOPES PLAN

SHEET NUMBER:
2 of 3

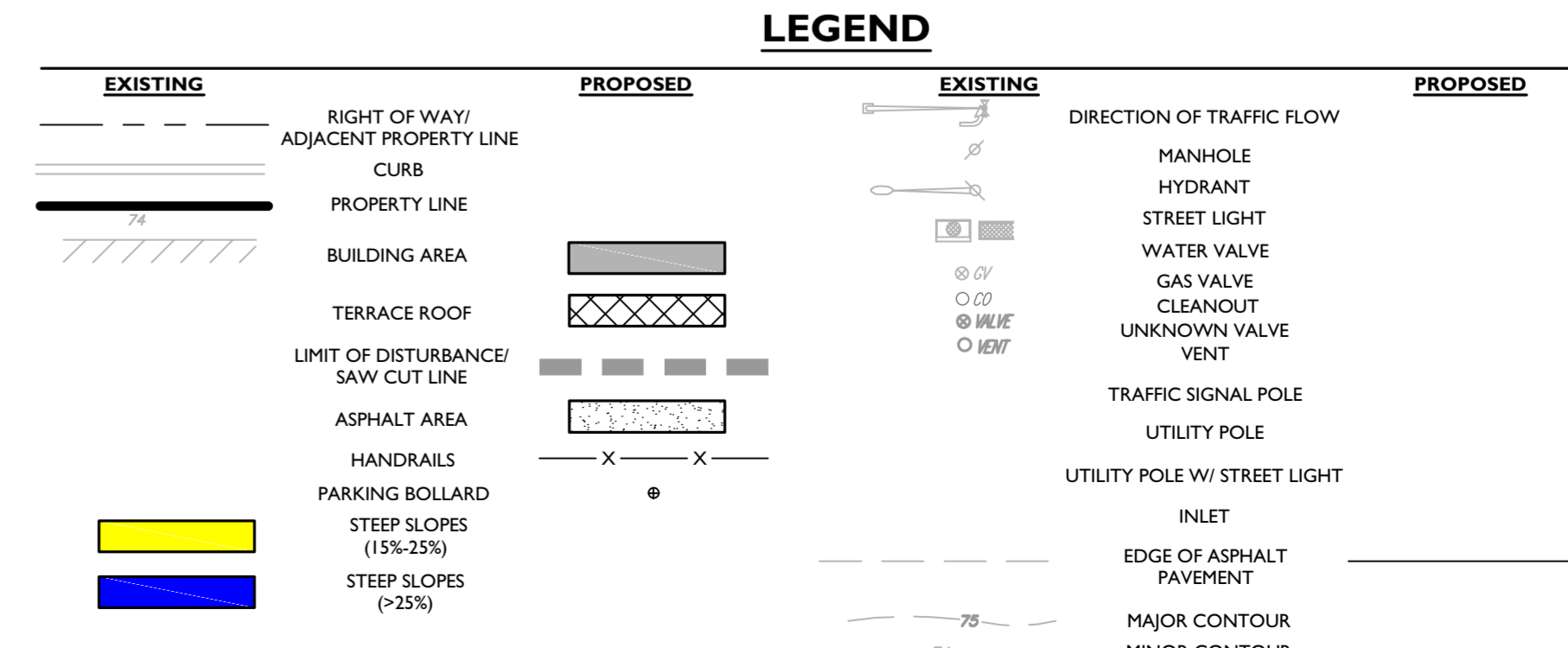
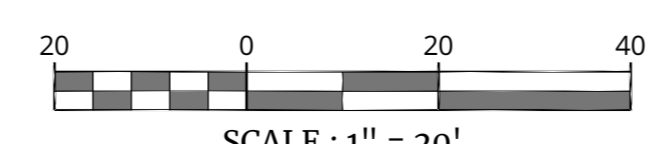
SCOPE OF WORK:
REMOVAL OF ONE-STORY EXISTING BUILDING, AND TO CONSTRUCT A ONE-STORY BUILDING ADDITION. CONSTRUCTION OF A COVERED WITH PERGOLA ROOF DECK.

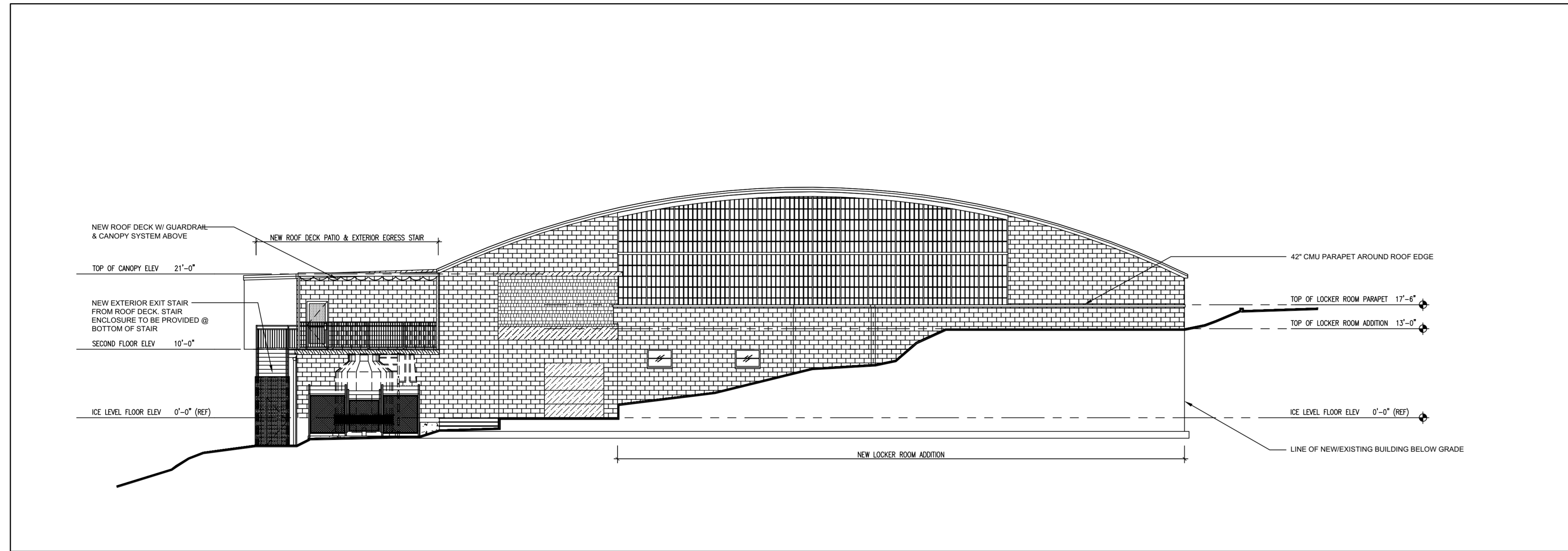
PROPOSED DEVELOPMENT DOES NOT REQUIRE THE REMOVAL OF EXISTING TREES ON SITE AND IT IS EXEMPT FROM SECTION 14-705(1) (.2)

LOD = 2,850 SF

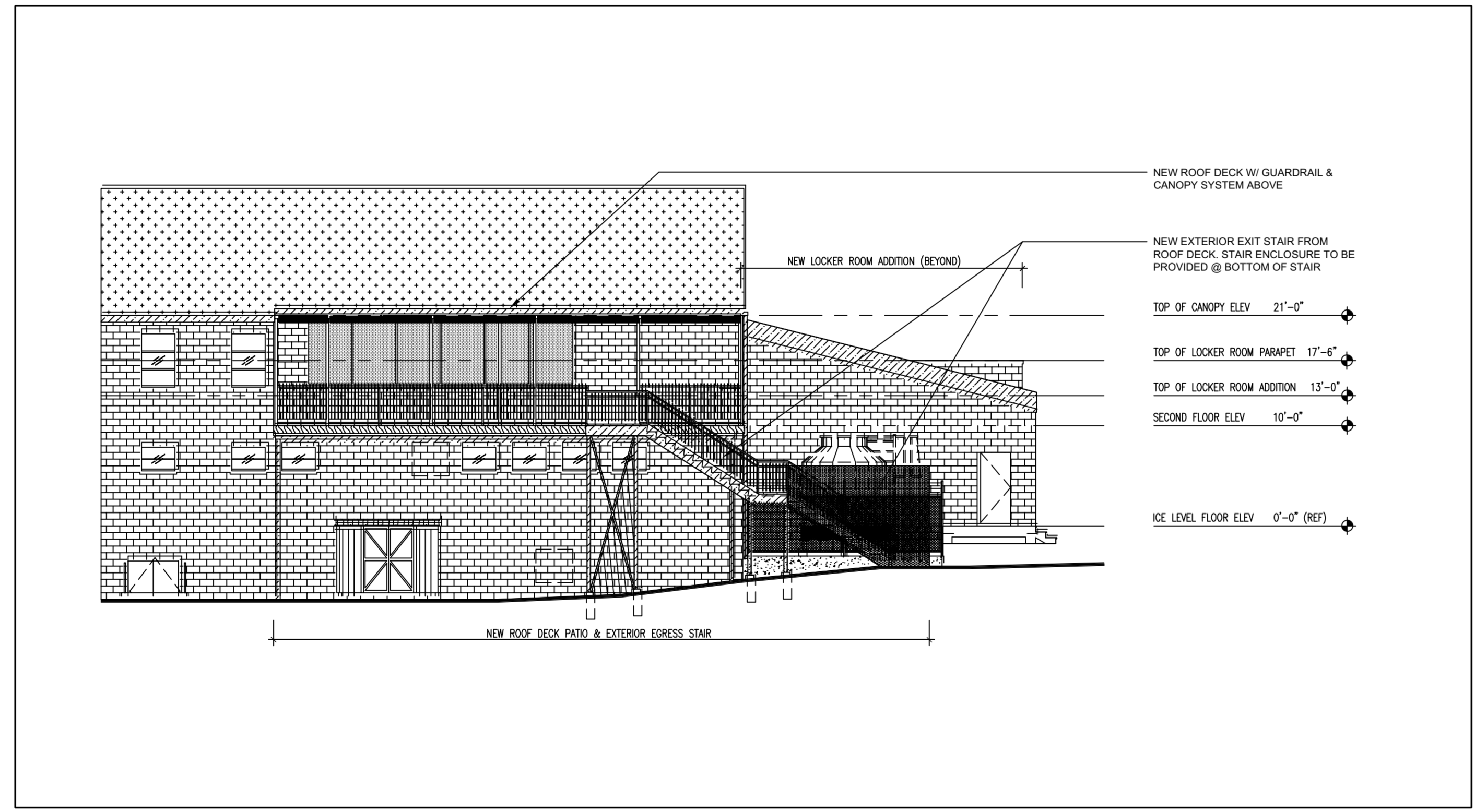
ABBREVIATIONS

- | | |
|--|---------------------|
| P.D.S = PHILADELPHIA DISTRICT STANDARD | UP = UTILITY POLE |
| U.S.S = UNITED STATE STANDARD | LP = LIGHT POLE |
| FF = FINISH FLOOR | TBR = TO BE REMOVED |
| UV = UNKNOWN VALVE | MH = MANHOLE |
| DEF = DEPRESSED | BOL = BOLLARD |
| CL = CENTER LINE | GR = GRATE |
| D.C. = DEPRESSED CURB | TR = TO REPAIR |
| BC = BOTTOM OF CURB | TW = TOP OF WALL |
| TC = TOP OF CURB | BW = BOTTOM OF WALL |
| | CP = CITY PLAN |

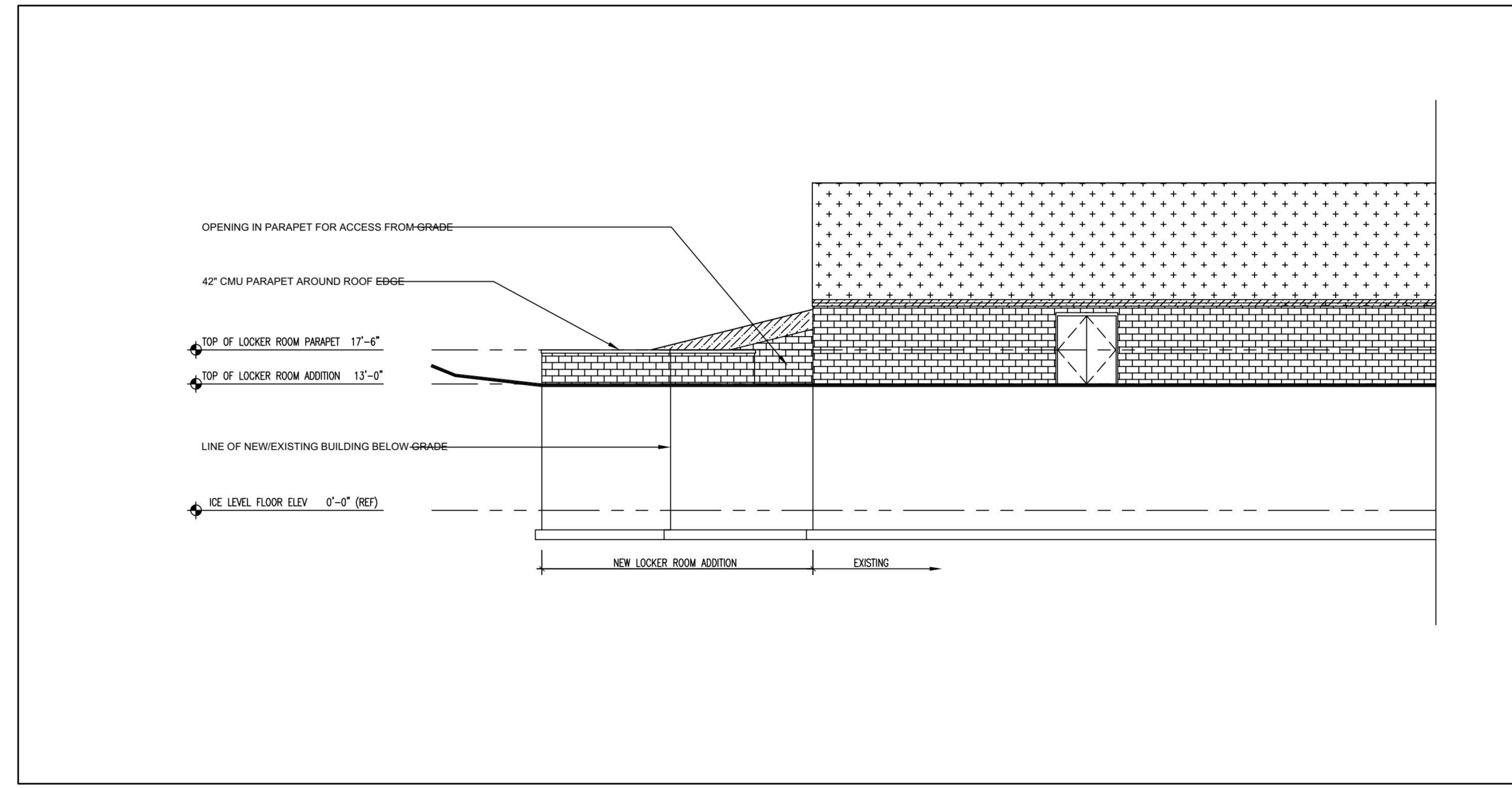




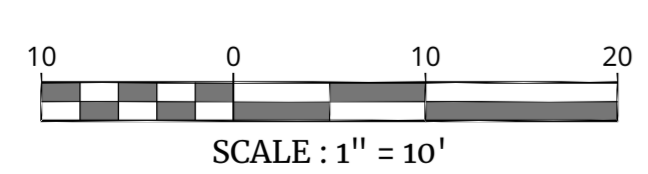
EAST ELEVATION - ROOF DECK & LOCKER ROOM ADDITION 1"=10'



SOUTH ELEVATION - ROOF DECK 1"=10'



NORTH ELEVATION - LOCKER ROOM ADDITION 1"=10'



SCALE : 1" = 10'

Table with columns: REV, DATE, DRAWN BY, DESCRIPTION. Contains revision entries.

Table with columns: REV, DATE, DRAWN BY, DESCRIPTION. Contains revision entries.

NOT APPROVED FOR CONSTRUCTION

Rhett N. Chiliberti PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER LICENSE NUMBER: PE073158 COLLIERS ENGINEERING & DESIGN, INC.

ZONING PLANS FOR WISSAHICKON SKATING CLUB

PROJECT TYPE: PROPOSED BUILDING ADDITION & PROPOSED ROOF DECK DEVELOPMENT

LOCATION: 550 WEST WILLOW GROVE, PHILADELPHIA, PA, 19118

PHILADELPHIA 2 Penn Center, Suite 700 1500 JK Boulevard Philadelphia, PA, 19102 Phone: 215.861.9021 COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 12/19/23 DRAWN BY: MPO CHECKED BY: MAB PROJECT NUMBER: 23012482A DRAWING NAME: C-LAY1

ZONING PLAN