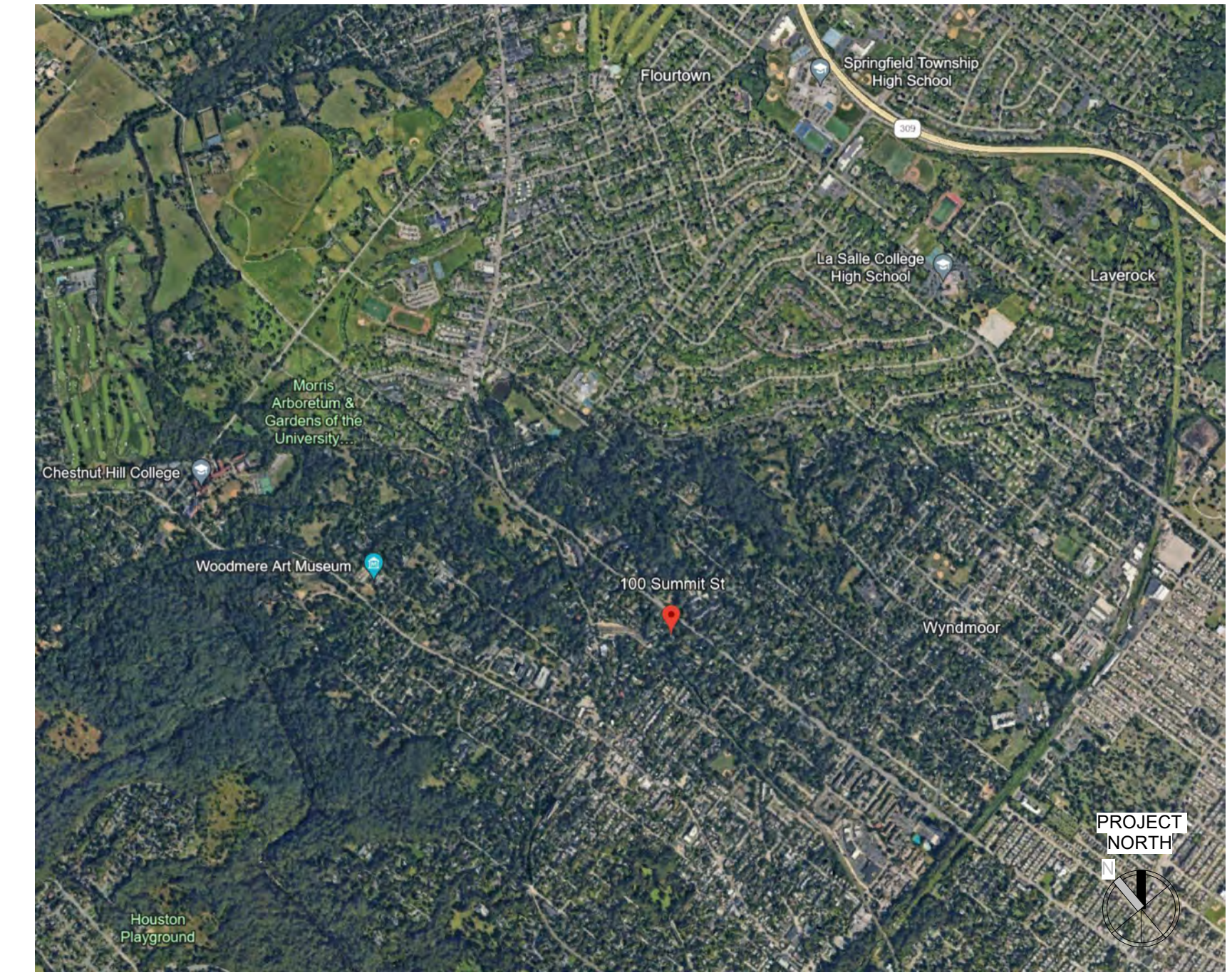


FARRAGUT RESIDENCE

100 Summit Street, Philadelphia, PA, USA

OWNER
Ryan & Kerri Farragut
 100 Summit Street
 Philadelphia, PA

ARCHITECT
KRIEGER + ASSOCIATES ARCHITECTS
 14 WEST HIGHLAND AVENUE
 PHILADELPHIA, PA 19118



SITE LOCATION MAP

SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. reserves the right to use any copyright and other proprietary rights in these plans. These plans are not to be reproduced, copied, or otherwise used without the written consent of Krieger + Associates, Architects, Inc. ©2024 Krieger + Associates, Architects Inc.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

GENERAL DRAWING NOTES

- IN CASE OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS GOVERN.
- SECTIONS AND DETAILS SHOWN, WHILE DRAWN FOR SPECIFIC LOCATIONS ARE INTENDED TO ESTABLISH THE GENERAL TYPES OF DETAILS TO BE USED THROUGHOUT. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES, SHALL BE REPEATED.
- CONTRACTOR TO VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM DRAWINGS. PROPOSED REMEDIES, IF REQUIRING ADDITIONAL WORK, ARE TO BE SUBMITTED FOR APPROVAL IN THE FORM OF WRITTEN CHANGE ORDERS TO THE OWNER IN ACCORDANCE WITH THE TERMS OF THE CONTRACT BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ITEMS NOT NOTED AS EXISTING ARE PROPOSED. DOORS AND WINDOWS NOT NUMBERED ON THE FLOOR PLANS OR ELEVATIONS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO EXISTING SURFACES ARE TO FINISH, UNLESS NOTED OTHERWISE.
- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS ARE INDICATED ON ARCHITECTURAL DRAWINGS FOR COORDINATION ONLY.
- THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), AND APPLICABLE LOCAL REGULATIONS.

SPECIAL INSPECTION NOTES

- SPECIAL INSPECTIONS ARE REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR THIS PROJECT. SEE STATEMENT OF SPECIAL INSPECTIONS SCHEDULE FOR A LIST OF THE REQUIRED INSPECTIONS, AND FREQUENCY BY WHICH INSPECTIONS ARE TO BE CONDUCTED.
- IT IS THE OWNER'S RESPONSIBILITY TO RETAIN THE SERVICES OF A THIRD-PARTY SPECIAL INSPECTOR TO PERFORM SPECIAL INSPECTIONS. THE INSPECTION AGENCY MAY NOT BE THE DESIGN ARCHITECT OR STRUCTURAL ENGINEER OF RECORD TO AVOID CONFLICTS OF INTEREST. THE SPECIAL INSPECTION AGENCY MUST BE IAS ACCREDITED AND PRE-QUALIFIED BY THE CITY OF PHILADELPHIA TO PERFORM THE REQUIRED INSPECTIONS.
- THE STRUCTURAL ENGINEER OF RECORD IS TO BE THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF SPECIAL INSPECTIONS (DPRC-SI). THE DPRC-SI IS RESPONSIBLE FOR THE FOLLOWING:
 - IDENTIFYING REQUIRED SPECIAL INSPECTIONS
 - SUBMITTING STATEMENT OF SPECIAL INSPECTIONS
 - EVALUATING AND SELECTING A SPECIAL INSPECTIONS AGENCY
 - REPORTING NON-COMPLIANCE ISSUES TO THE CONTRACTOR AND TO L&I FOR ISSUES THAT ARE HAZARDOUS TO LIFE, SAFETY OR HEALTH.
 - REVIEWING AND APPROVING SPECIAL INSPECTIONS PROGRESS REPORTS AND FINAL REPORTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE SPECIAL INSPECTIONS, AND TO MAINTAIN CONTRACT DOCUMENTS ON-SITE FOR USE BY THE SPECIAL INSPECTOR. 48 HOURS NOTICE IS REQUIRED FOR FIELD INSPECTIONS, AND 7 DAYS NOTICE IS REQUIRED FOR OFF-SITE INSPECTIONS.
- A PRE-CONSTRUCTION MEETING IS RECOMMENDED TO DISCUSS SPECIAL INSPECTIONS. OWNER, DPRC-SI, ARCHITECT AND SPECIAL INSPECTOR TO ATTEND.

MATERIAL LEGEND

FOAM INSULATION	BATT INSULATION	RIGID INSULATION (SMALL SCALE)
RIGID INSULATION (LARGE SCALE)	BRICK	CONCRETE
CONCRETE MASONRY	COMPOSITE MATL / FIBER CEMENT	BLOCKING
ROUGH WOOD	FINISH WOOD	LAMINATED VENEER LUMBER (LVL) / PARALLEL STRAND LUMBER (PSL)
SHEATHING (SMALL SCALE)	SHEATHING (LARGE SCALE)	MDO/MDF
VENT SPACE / DRAINAGE PLANE	STONE	TILE
GRAVEL	EARTH	

SYMBOL LEGEND

	WALL TYPE
	REVISION
	CENTERLINE
	WINDOW TYPE
	DOOR TYPE
Room name	ROOM NAME AND/OR NUMBER
	EXTERIOR ELEVATION
	BUILDING/WALL SECTION
	DETAIL
	ENLARGED DETAIL
	INTERIOR ELEVATION
	SLOPE
	VERTICAL ELEVATION
	EXG TOPOGRAPHIC ELEVATION

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	FE(C)	FIRE EXTINGUISHER (CABINET)	PHI(D)	PAINTED PAIR
ADDN	ADDITIONAL	FEN	FENCE	PSL	PARALLEL STRAND LUMBER
ADJ	ADJACENT	FF	FILTER FABRIC	PT	PRESSURE TREATED
ADJUST	ADJUSTABLE	FG	FIBERGLASS	R	RISER
AFF	ABOVE FINISH FLOOR	FLR	FLOOR	RAD	RADIUS
AL	ALUMINUM	FLUOR	FLUORESCENT	RAG	RETURN AIR GRILL
ALT	ALTERNATE	FP	FIREPLACE	RCP	REFLECTED CEILING PLAN
AP	ACCESS PANEL	FT	FOOT	REF	REFRIGERATOR
APP	APPLIANCE	FTG	FOOTING	RECP	RECEPTACLE
APPROX	APPROXIMATE	FX	FIXED	REF	REFRIGERATOR
AWN	AWNING	GA	GAUGE	REQD	REQUIRED
B/O	BOTTOM OF	GALV	GALVANIZED	RES	RESILIENT
BC	BRICK COURSE(S)	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
BD	BOARD	GWB	GYPSSUM WALL BOARD	S&R	SHELF & ROD
BDDB	BEAD BOARD	HB	HOSEBIB	SAG	SUPPLY AIR GRILL
BM	BEAM	H	HIGH	SC	SOLID CORE
BOD	BASIS OF DESIGN	HM	HOLLOW METAL	SCHED	SCHEDULE
BR	BRUSHED	HOP	HOPPER	SCR	SCREEN SECTION
BSMT	BASEMENT	HDWD	HARDWOOD	SECT	SECTION
CANT	CANTILEVER(ED)	HOP	HOPPER	SH	SINGLE HUNG
CB	CEMENTITIOUS BACKER BOARD	HORIZ	HORIZONTAL	SIM	SIMILAR
CBNT	CABINET	HT	HEIGHT	SL	SLIDER
CI	CAST IRON	HTR	HEATER	SSTL	STAINLESS STEEL
CJ	CONTROL JOINT	INCAN	INCANDESCENT	ST	STUCCO
CL	CENTER LINE	INSUL	INSULATION	STD	STANDARD
CLNG	CEILING	INT	INTERIOR	STL	STEEL
CLR	CLEAR	JT	JOINT	STN	STONE
CMU	CONCRETE MASONRY UNIT	L	LOW	STR	STRUCTURAL
COL	COLUMN	LIN	LINOLEUM	T	TREAD
COMP	COMPOSITE	LKG	LOOKING	T&G	TONGUE & GROOVE
CONC	CONCRETE	LT	LIGHT	T/O	TOP OF
CONT	CONTINUOUS	LV	LOW VOLTAGE	TBD	TO BE DETERMINED
CONTR	CONTRACTOR	LVL	LAMINATED VENEER LUMBER	TE	TEMPERED
CPT	CARPET	MATL	MATERIAL	TYP	TYPICAL
CSMT	CASEMENT	MAX	MAXIMUM	U/C	UNDER CABINET
CT	CERAMIC TILE	MDO	MEDIUM DENSITY OVERLAY	U/S	UNDERSIDE
DBL	DOUBLE	MFR	MANUFACTURER	UNF	UNFINISHED
DED	DEDICATED	MIN	MINIMUM	UNO	UNLESS NOTED OTHERWISE
DEMO	DEMOLITION	MO	MASONRY	VCB	VINYL COVE BASE
DH	DOUBLE HUNG	MTD	MOUNTED	VCT	VINYL COMPOSITION TILE
DIA	DIAMETER	NA	NOT APPLICABLE	VERT	VERTICAL
DIMS	DIMENSIONS	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
DN	DOWN	NTS	NOT TO SCALE	VIR	VENT THRU ROOF
DS	DOWNSPOUT	O/A	OVERALL	W/	WITH
DTL(S)	DETAIL(S)	O/C	ON CENTER	WD	WOOD
DWG(S)	DRAWING(S)	OH	OVERHEAD	WDW	WINDOW
EA	EACH	OPER	OPERABLE	WG	WIRE GLASS
EJ	EXPANSION JOINT	OPNG	OPENING	WH	WATER HEATER
ELEC	ELECTRIC	OPP	OPPOSITE	WP	WALL PAPER
ENG	ENGINEERED	PAF	POWDER ACTUATED FASTENER	WWF	WELDED WIRE FABRIC
EQ	EQUAL EQUIVALENT	PLAM	PLASTIC LAMINATE		
EWC	ELECTRIC WATER COOLER	PLST	PLASTER		
EXG	EXISTING	PLYWD	PLYWOOD		
EXP	EXPANSION				
EXT	EXTERIOR				
FD	FLOOR DRAIN				
FDN	FOUNDATION				

SHEET LIST

SHEET NUMBER	SHEET NAME	PRELIMINARY PRICING SET 03.28.24	ISSUE FOR ZONING PERMIT 08.13.24	PHC APPLICATION 01.10.25	ISSUE FOR REVIEW 02.06.25	ISSUE FOR REVIEW 02.13.25
0-GENERAL						
G0.1	COVER SHEET	•	•	•	•	•
G0.2	PRELIMINARY PRICING SCHEDULE	•	•	•	•	•
1-ZONING						
Z0.1	SITE PLAN	•	•	•	•	•
Z0.2	SITE PLAN EXPANDED	•	•	•	•	•
Z0.3	PARTIAL SITE SECTION	•	•	•	•	•
2-ARCHITECTURALS						
3D 3D VIEWS						
A1.1	DEMOLITION PLANS & SCHEDULES	•	•	•	•	•
A2.1	FIRST FLOOR PLAN	•	•	•	•	•
A2.2	SECOND FLOOR PLAN	•	•	•	•	•
A3.1	EXTERIOR ELEVATION - ADDITION	•	•	•	•	•
A3.2	EXTERIOR ELEVATION - ADDITION	•	•	•	•	•
A3.3	EXTERIOR ELEVATION - ADDITION	•	•	•	•	•
A3.4	EXTERIOR ELEVATION - GARAGE	•	•	•	•	•
A3.5	EXTERIOR ELEVATION - GARAGE	•	•	•	•	•
A3.6	EXTERIOR ELEVATION - GARAGE	•	•	•	•	•
A3.7	EXTERIOR ELEVATION - GARAGE	•	•	•	•	•
A3.8	GARAGE SCHEME B	•	•	•	•	•
A3.9	GARAGE SCHEME B	•	•	•	•	•
A3.10	GARAGE SCHEME B	•	•	•	•	•
A3.11	GARAGE SCHEME B	•	•	•	•	•
A4.1	BUILDING SECTION - GARAGE	•	•	•	•	•

PROJECT: **FARRAGUT RESIDENCE**
 100 Summit Street, Philadelphia, PA, USA
 CLIENT: **Ryan & Kerri Farragut**
 rfarragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:
2307

ISSUE DATE:
FEBRUARY 13, 2025

STATUS:
FOR REVIEW

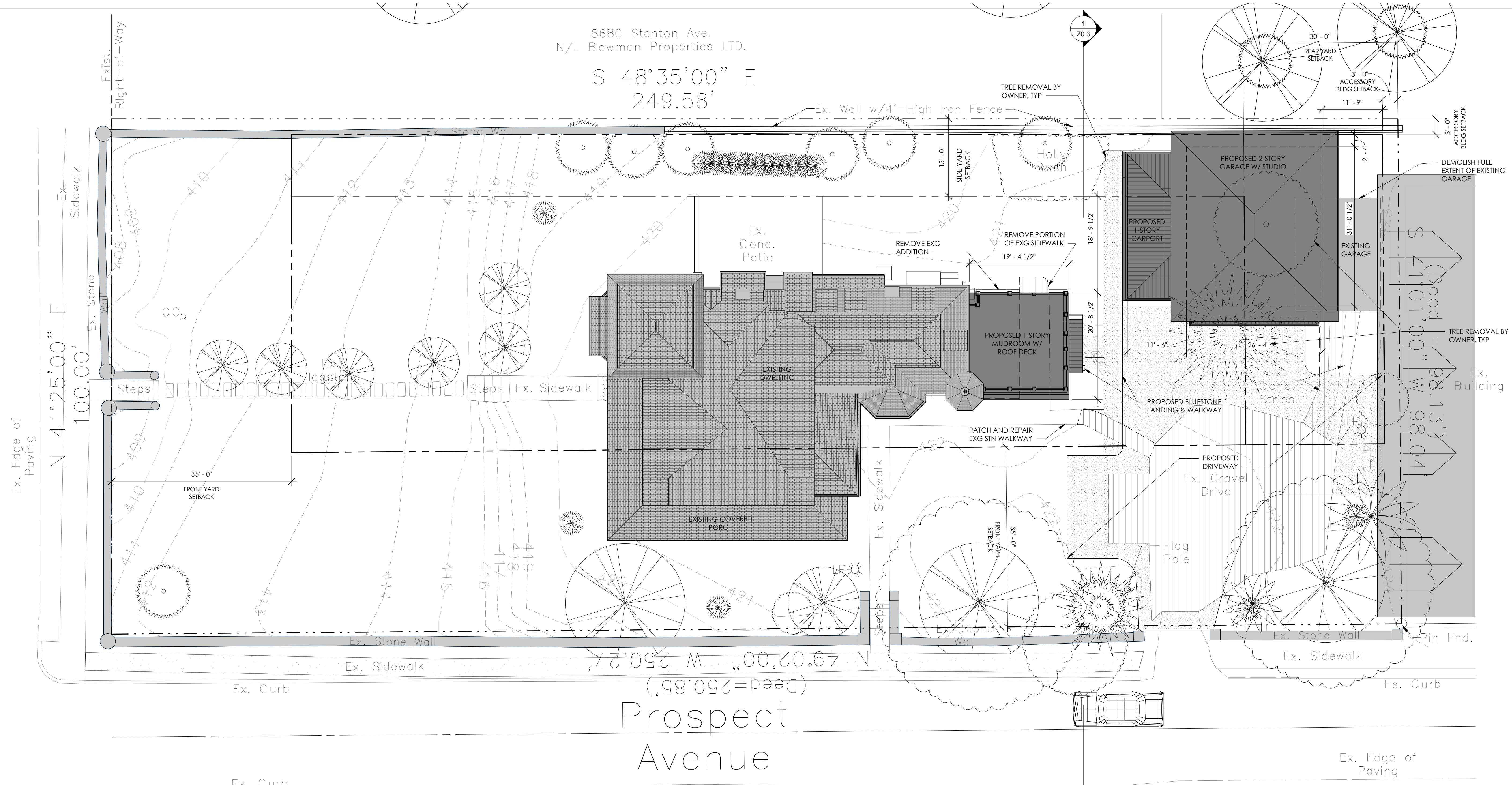
REVISION DATE:

No.	Date

SHEET TITLE:
COVER SHEET

SHEET NUMBER:

G0.1



8680 Stenton Ave.
N/L Bowman Properties LTD.
S 48°35'00" E
249.58'

Ex. Edge of Paving
N 41°25'00" E
100.00'

Prospect Avenue
N 49°02'00" W 250.27'
(Deed=250.85')

Zoning Code

Item	Existing	Removed	Proposed	Total
LOT AREA	24,500 SF	NO CHANGE	NO CHANGE	24,500 SF
DWELLING ROOF AREA	2,000 SF	200 SF	400 SF	2,200 SF
ACCESSORY ROOF AREA	365 SF	365 SF	1,400 SF	1,765 SF
TOTAL BUILDING ROOF AREA	2,365 SF	565 SF	1,800 SF	4,165 SF
UNCOVERED HARDSURFACE AREA	2,400 SF	1,400 SF	2,800 SF	3,800 SF
TOTAL IMPERVIOUS AREA (B+C)	4,765 SF	1,965 SF	4,600 SF	6,665 SF

Zoning Requirements and Analysis

Item	Code Requirement	Existing	Proposed
ZONING CLASSIFICATION	R5S1	R5S1	NO CHANGE
OVERLAY DISTRICT	WISSAHICKON WATERSHED FAIRHARTON PARK	N/A	N/A
WISSAHICKON WATERSHED CATEGORY	S (NO LIMIT)	S (NO LIMIT)	NO CHANGE
STEEP SLOPES	25% OR GREATER: NO SITE CLEARING OR EARTH MOVING ACTIVITY PERMITTED (DE 15%); 25%: SITE CLEARING OR EARTH MOVING ACTIVITY PERMITTED IN ACCORDANCE WITH EARTH MOVING PLANS APPROVED BY PLANNING COMMISSIONER.		
WATERCOURSE SETBACKS IN WATERSHED	NO IMPERVIOUS COVERAGE PERMITTED WITHIN 200' OF BANK OF A BODY OF WATER; NO IMPERVIOUS COVERAGE PERMITTED WITHIN 50' OF CENTERLINE OF SWALE WITHIN WATERSHED.		
EARTH DISTURBANCE AREA	N/A	N/A	1,500 SF
HISTORICAL DESIGNATION	CHESTNUT HILL HISTORIC DISTRICT ON THE NATIONAL REGISTER	SIGNIFICANT	NO CHANGE
PERMITTED USE	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING	NO CHANGE
PERMITTED BUILDING TYPE	DETACHED	DETACHED	DETACHED
MINIMUM LOT AREA	10,000 SF	24,500 SF	NO CHANGE
MINIMUM LOT WIDTH	75'	75'	NO CHANGE
FRONT YARD SETBACK	35'	35'	NO CHANGE
SIDE YARD AND COURT SETBACK	15'	15'	NO CHANGE
MINIMUM	N/A	N/A	N/A
REAR YARD SETBACK AGGREGATE	30'	30'	NO CHANGE
MAXIMUM OCCUPIED AREA (B/A) CORNER LOT	35%	13.4%	20.0%
MINIMUM OPEN AREA (A/B/A) CORNER LOT	65%	84.6%	60.0%
MAXIMUM BUILDING HEIGHT - MEASURED TO MIDPOINT OF ROOF	38'	44'	15' ADDITION
ACCESSORY BUILDING	PERMITTED	1	NO CHANGE
ACCESSORY BUILDING SETBACKS	5'	5'	5'-4" - 14'-0"
ACCESSORY BUILDING HEIGHT	10'	10'	10'-0" GARAGE/STUDIO
MAXIMUM IMPERVIOUS COVERAGE (%) (A X 100)	N/A	25.2%	35.9%

2 SITE PLAN
Z0.1 1" = 10'-0"

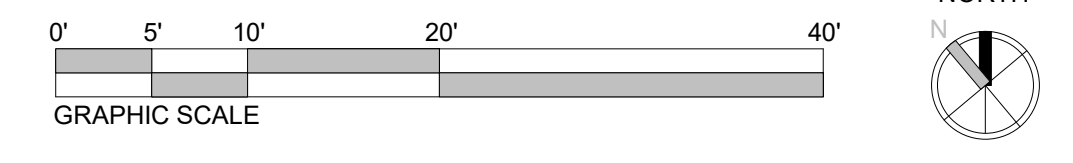
GENERAL SITE PLAN NOTES

- SITE PLAN INFORMATION TAKEN FROM 02/06/2018.
- PROVIDE HAY BALES, SILTATION FENCES OR OTHER APPROPRIATE EROSION CONTROL MEASURES AROUND CONSTRUCTION SITE AND STORED MATERIALS.
- CLEAN STREET OF ALL DEBRIS AT THE END OF EACH WORK DAY.
- DOWNSPOUTS TO BE CONNECTED TO EXISTING STORM WATER MANAGEMENT SYSTEM.
- CONTRACTOR TO SEED LAWN IN AREAS DISTURBED BY CONSTRUCTION ACTIVITY.
- VERTICAL DATUM IS CITY OF PHILADELPHIA DATUM.
- ALL DIMENSIONS ARE CITY DISTRICT STANDARD EXCEPT DIMENSIONS DENOTED (000.00) AS US STANDARD.

SITE PLAN LEGEND

AC	AIR CONDITIONER	GU	GUTTER
BF	BASEMENT FLOOR	GV	GAS VALVE
BW	BOTTOM OF WALL	INV	INVERT
CO	CLEANOUT	SL	STREET LIGHT
D	DRAIN	TG	TOP OF GRATE
DS	DOWNSPOUT	TR	TRASH BIN
FF	FIRST FLOOR	TW	TOP OF WALL
FH	FIRE HYDRANT	UDG	UNDERGROUND
GF	GARAGE FLOOR	UP	UTILITY POLL
GS	GARAGE SILL	WV	WATER VALVE
		WW	WINDOW WELL

---	FENCE
---	PROPERTY LINES
---	BUILDING SETBACK LINES
[Hatched Box]	INDICATES EXISTING ROOF AREA
[Dark Grey Box]	INDICATES ADDITIONAL ROOF AREA
[White Box]	INDICATES UNCOVERED HARDSURFACE AREA TO BE REMOVED
[Light Grey Box]	INDICATES ADDITIONAL UNCOVERED HARDSURFACE AREA



SEAL:

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA
CLIENT: Ryan & Kerri Farragut

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 13, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

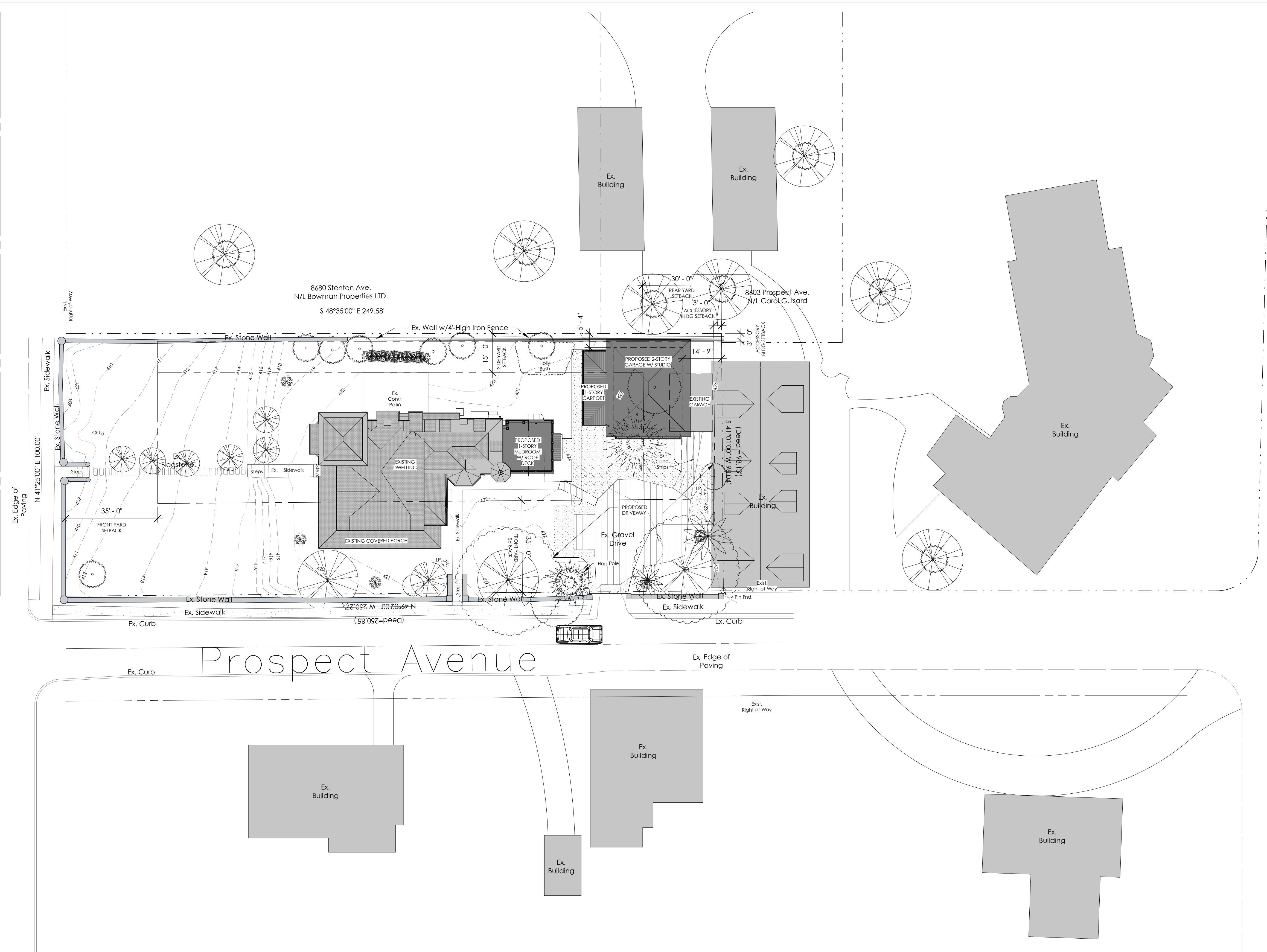
No.	Date

SHEET TITLE: **SITE PLAN**

SHEET NUMBER:

Z0.1

Summit Street

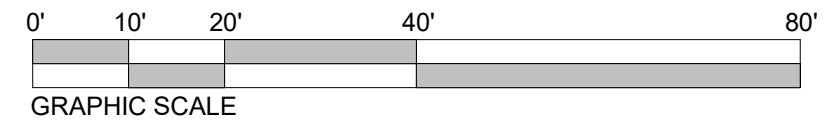


SITE PLAN LEGEND

- | | | | |
|----|-----------------|-----|--------------|
| AC | AIR CONDITIONER | GU | GUTTER |
| BF | BASEMENT FLOOR | GV | GAS VALVE |
| BW | BOTTOM OF WALL | INV | INVERT |
| CO | CLEANOUT | SL | STREET LIGHT |
| D | DRAIN | TG | TOP OF GRATE |
| DS | DOWNSPOUT | TR | TRASH BIN |
| FF | FIRST FLOOR | TW | TOP OF WALL |
| FH | FIRE HYDRANT | UDG | UNDERGROUND |
| GF | GARAGE FLOOR | UP | UTILITY POLL |
| GS | GARAGE SILL | WV | WATER VALVE |
| | | WW | WINDOW WELL |

- | | |
|-------------|--|
| — X — X — X | FENCE |
| - - - - - | PROPERTY LINES |
| — — — — — | BUILDING SETBACK LINES |
| ■ | INDICATES EXISTING ROOF AREA |
| ■ | INDICATES ADDITIONAL ROOF AREA |
| ▨ | INDICATES UNCOVERED HARDSURFACE AREA TO BE REMOVED |
| ▨ | INDICATES ADDITIONAL UNCOVERED HARDSURFACE AREA |

1 SITE PLAN
20.2 1" = 20'-0"



SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. reserves the right to copyright and other property rights in these plans. These plans are not to be reproduced, copied, or used in any way without the express written consent of Krieger + Associates, Architects, Inc. ©2024 Krieger + Associates, Architects Inc.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

farragut@usroofing.com | 610.633.7668

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 13, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE: **SITE PLAN EXPANDED**

SHEET NUMBER:

Z0.2

SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. reserves the right to correct any errors and other property rights in these plans. These plans are not to be reproduced, copied or used for any other project without the express written consent of Krieger + Associates, Architects, Inc. ©2024 Krieger + Associates, Architects Inc.

KEY PLAN:

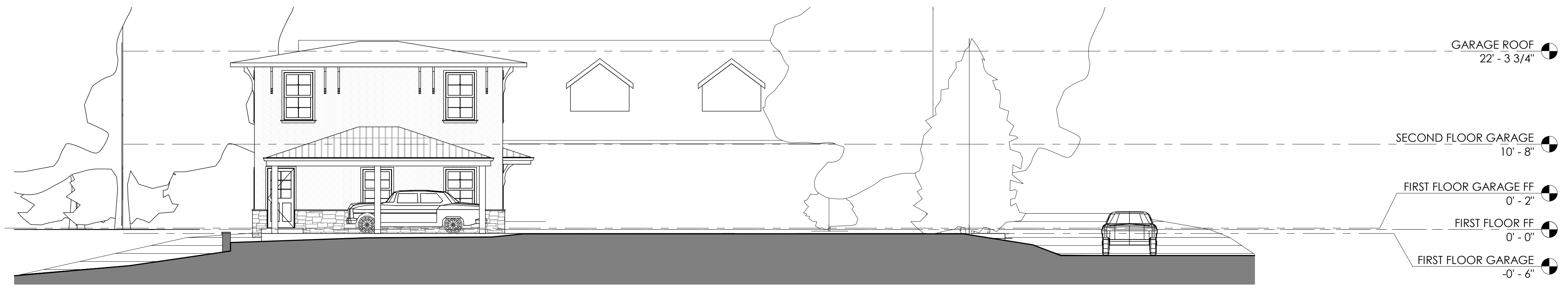
CONSULTANTS:

CONSULTANTS:



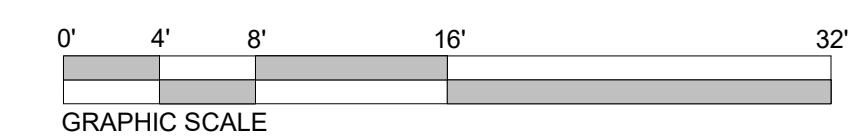
2
Z0.3 EXTERIOR ELEVATION - FROM PROSPECT
1/8" = 1'-0"

- GARAGE ROOF 22' - 3 3/4"
- SECOND FLOOR GARAGE 10' - 8"
- FIRST FLOOR GARAGE FF 0' - 2"
- FIRST FLOOR FF 0' - 0"
- FIRST FLOOR GARAGE -0' - 6"



1
Z0.3 PARTIAL SITE SECTION
1/8" = 1'-0"

- GARAGE ROOF 22' - 3 3/4"
- SECOND FLOOR GARAGE 10' - 8"
- FIRST FLOOR GARAGE FF 0' - 2"
- FIRST FLOOR FF 0' - 0"
- FIRST FLOOR GARAGE -0' - 6"



PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

ARCHITECT PROJECT NUMBER:

2307

ISSUE DATE:

FEBRUARY 13, 2025

STATUS:

FOR REVIEW

REVISION DATE:

No.	Date

SHEET TITLE:

PARTIAL SITE SECTION

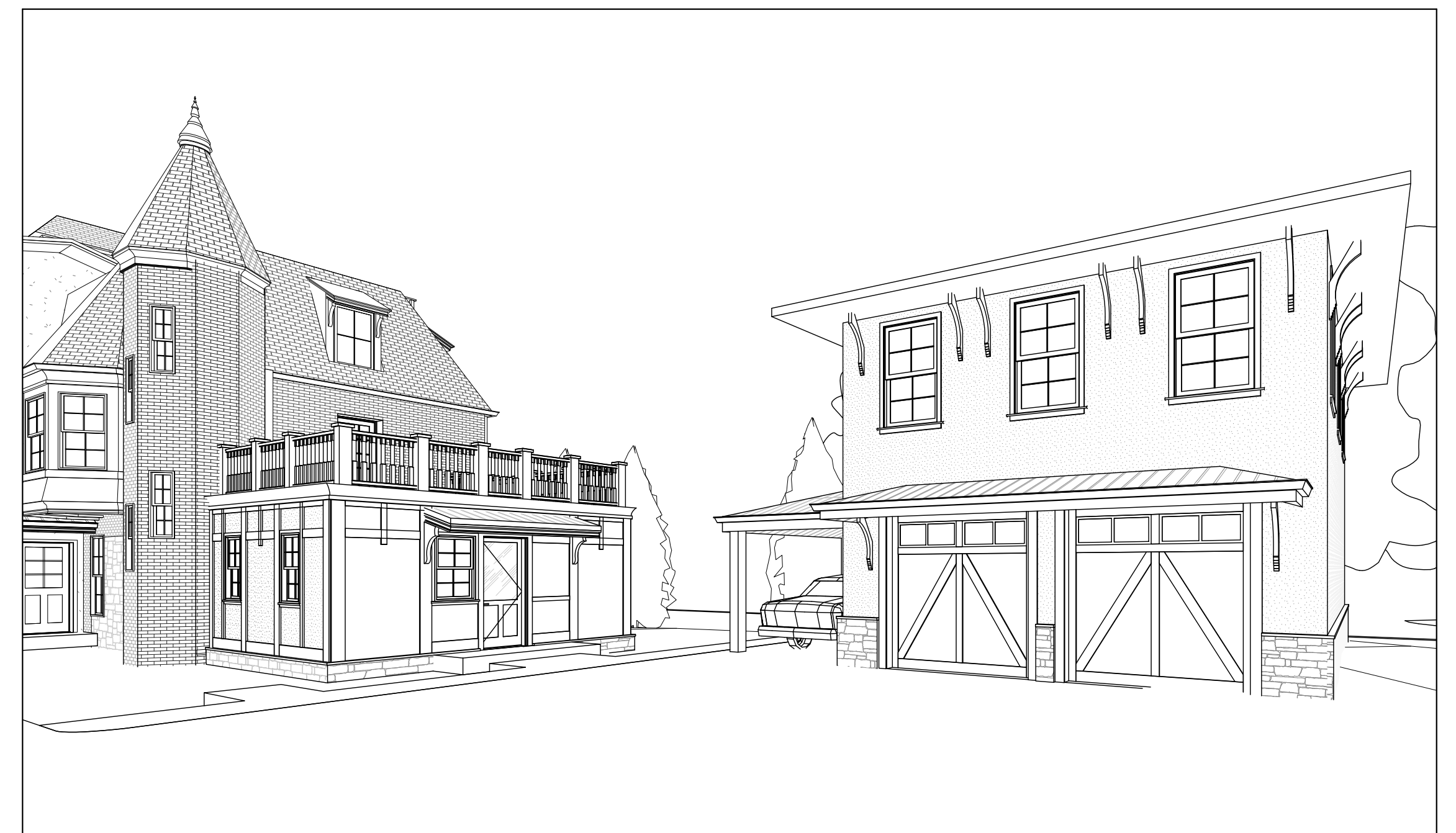
SHEET NUMBER:

Z0.3

farragut@usroofing.com | 610.633.7688



1
3D
3D View - View from Prospect Ave



2
3D
3D View - Driveway looking West



3
3D
3D View - Driveway looking East



4
3D
3D View - Addition

FARRAGUT RESIDENCE

SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, REPRESENTATIONS AND OTHER RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 Krieger + Associates.

KEY PLAN:

CONSULTANTS:

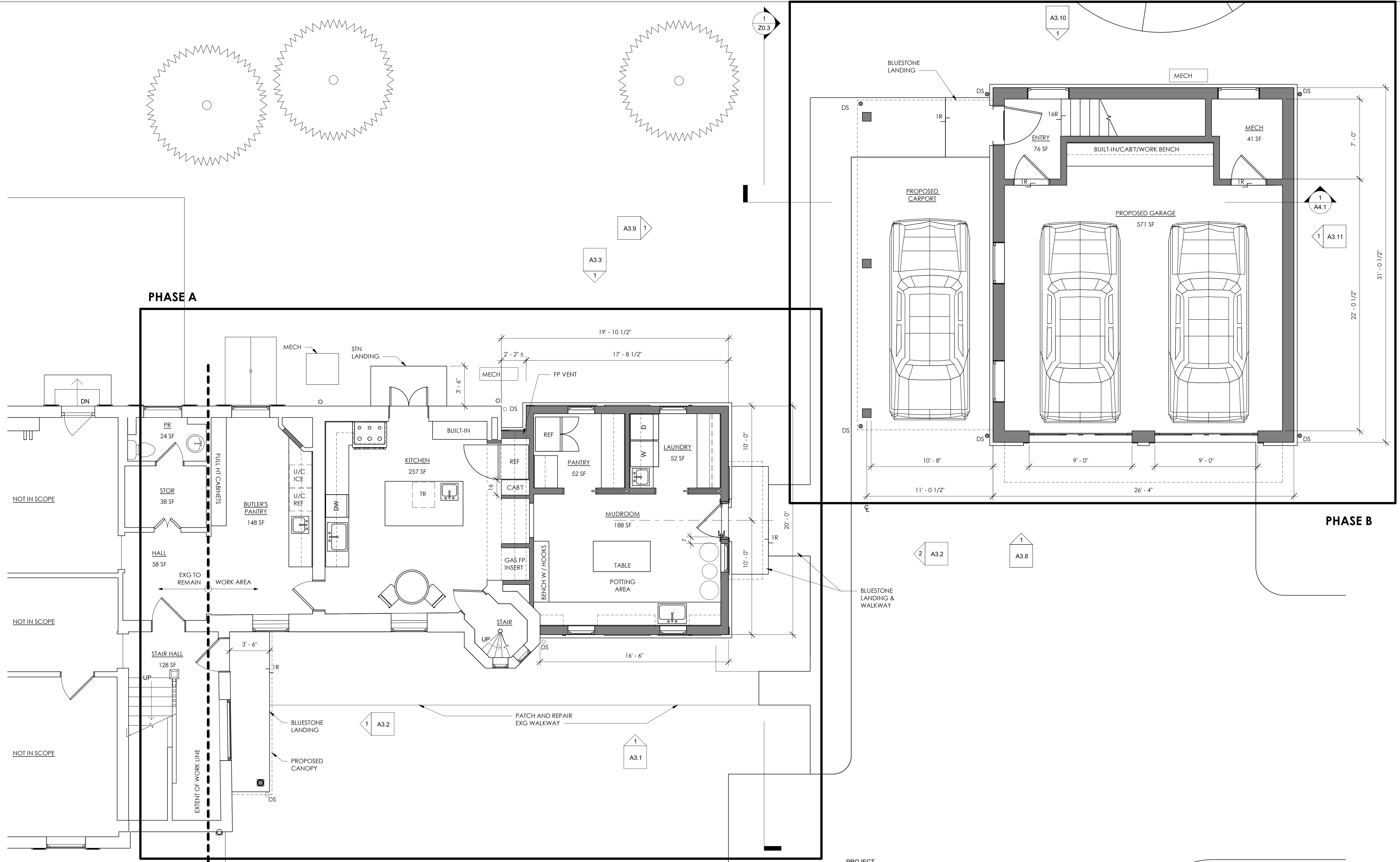
CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA
CLIENT: **Ryan & Kerri Farragut**
ARCHITECT PROJECT NUMBER: **2307**
ISSUE DATE: **FEBRUARY 13, 2025**
STATUS: **FOR REVIEW**

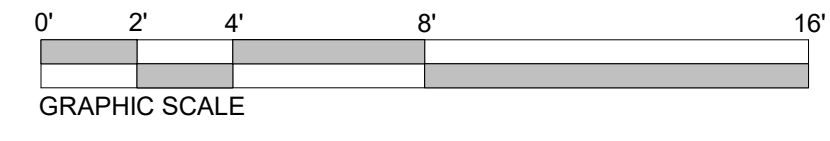
REVISION DATE:

No.	Date

SHEET TITLE:
FIRST FLOOR PLAN
SHEET NUMBER:



1 FIRST FLOOR PLAN
A2.1 1/4" = 1'-0"



GENERAL PLAN NOTES

1. PROPOSED WALLS ARE TO ALIGN WITH EXISTING ADJACENT WALLS UNO.
2. CASED OPENINGS THAT APPEAR TO BE CENTERED BETWEEN ADJACENT PERPENDICULAR WALLS SHOULD BE CENTERED UNLESS NOTED OTHERWISE.
3. DOORS AND WINDOWS ARE TYPICALLY OFFSET TRIM WIDTH FROM ADJACENT PERPENDICULAR PARTITION AT INSIDE CORNER.
4. SOILSTACK LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS WITH HVAC AND PLUMBING SUBCONTRACTOR.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- █ NEW WALL
- - - UPPER CABINETS

SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, REPRESENTATIONS AND OTHER RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA
CLIENT: **Ryan & Kerri Farragut**
farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:
2307
ISSUE DATE:
FEBRUARY 13, 2025

STATUS:
FOR REVIEW

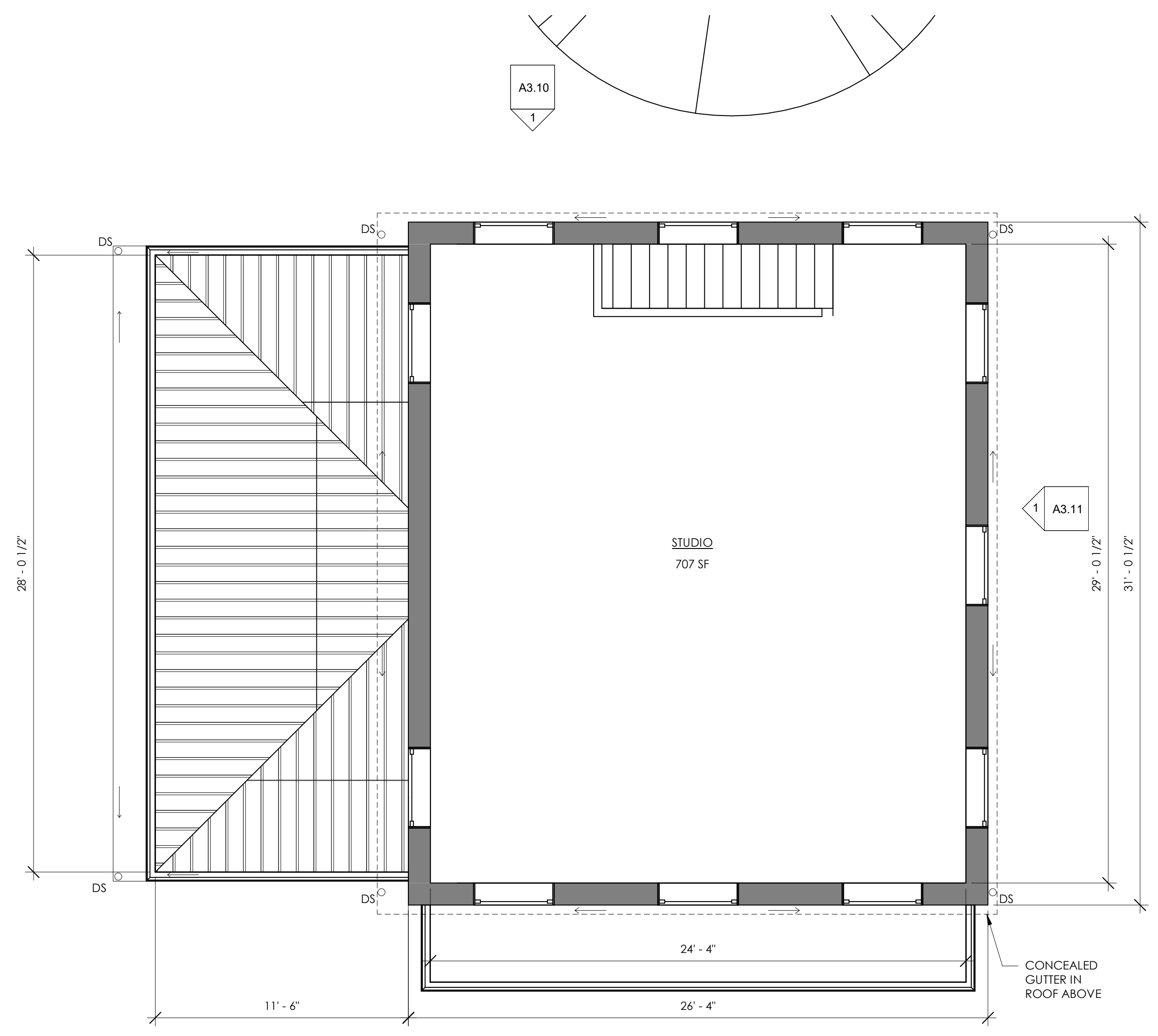
REVISION DATE:

No.	Date

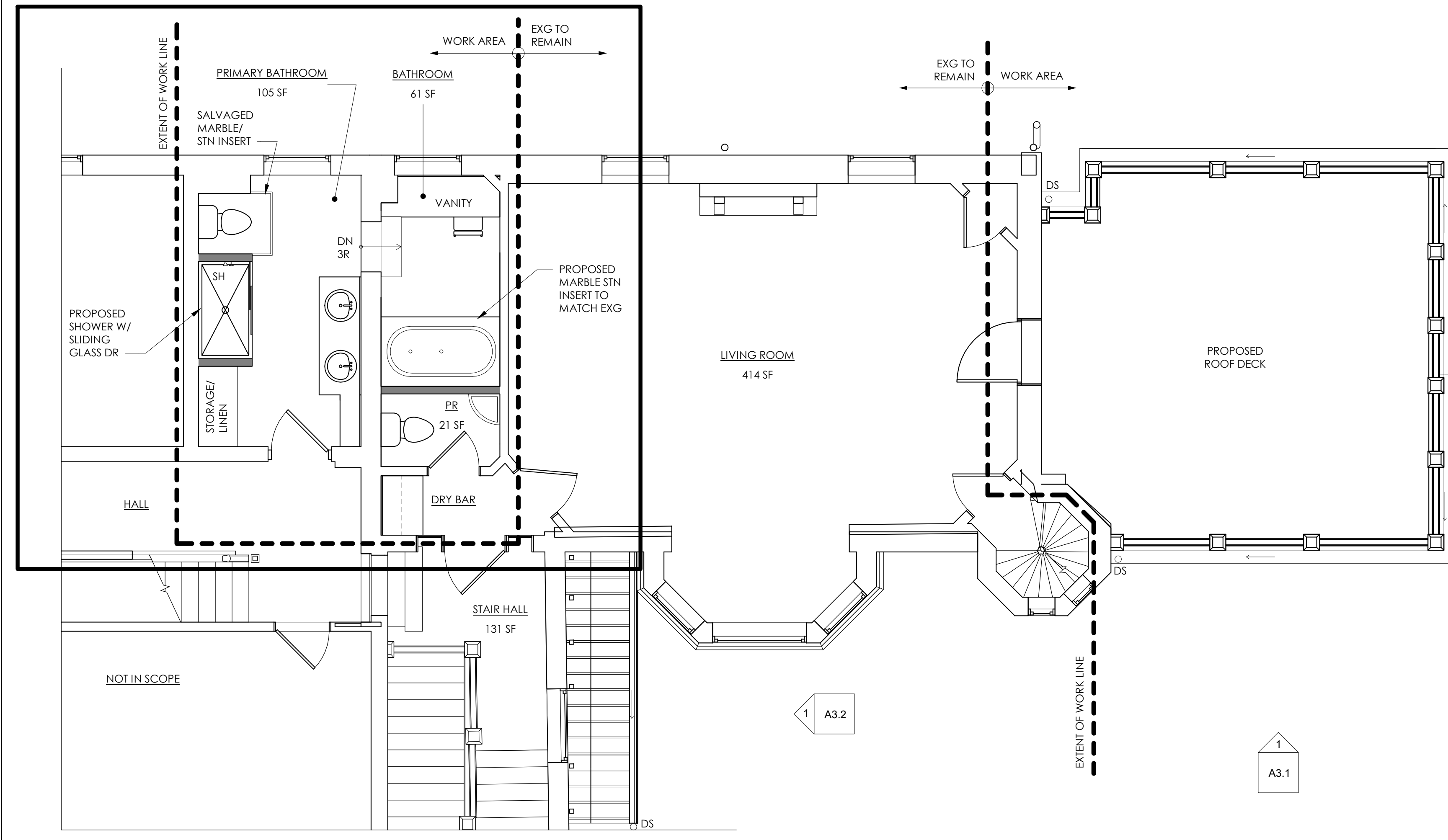
SHEET TITLE:
SECOND FLOOR PLAN

SHEET NUMBER:

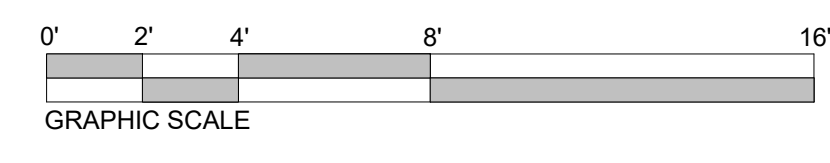
A2.2



PHASE C - BY OTHERS



1
A2.2 SECOND FLOOR PLAN - ALT
1/4" = 1'-0"



GENERAL PLAN NOTES

1. PROPOSED WALLS ARE TO ALIGN WITH EXISTING ADJACENT WALLS UNO.
2. CASED OPENINGS THAT APPEAR TO BE CENTERED BETWEEN ADJACENT PERPENDICULAR WALLS SHOULD BE CENTERED UNLESS NOTED OTHERWISE.
3. DOORS AND WINDOWS ARE TYPICALLY OFFSET TRIM WIDTH FROM ADJACENT PERPENDICULAR PARTITION AT INSIDE CORNER.
4. SOILSTACK LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS WITH HVAC AND PLUMBING SUBCONTRACTOR.

FLOOR PLAN LEGEND

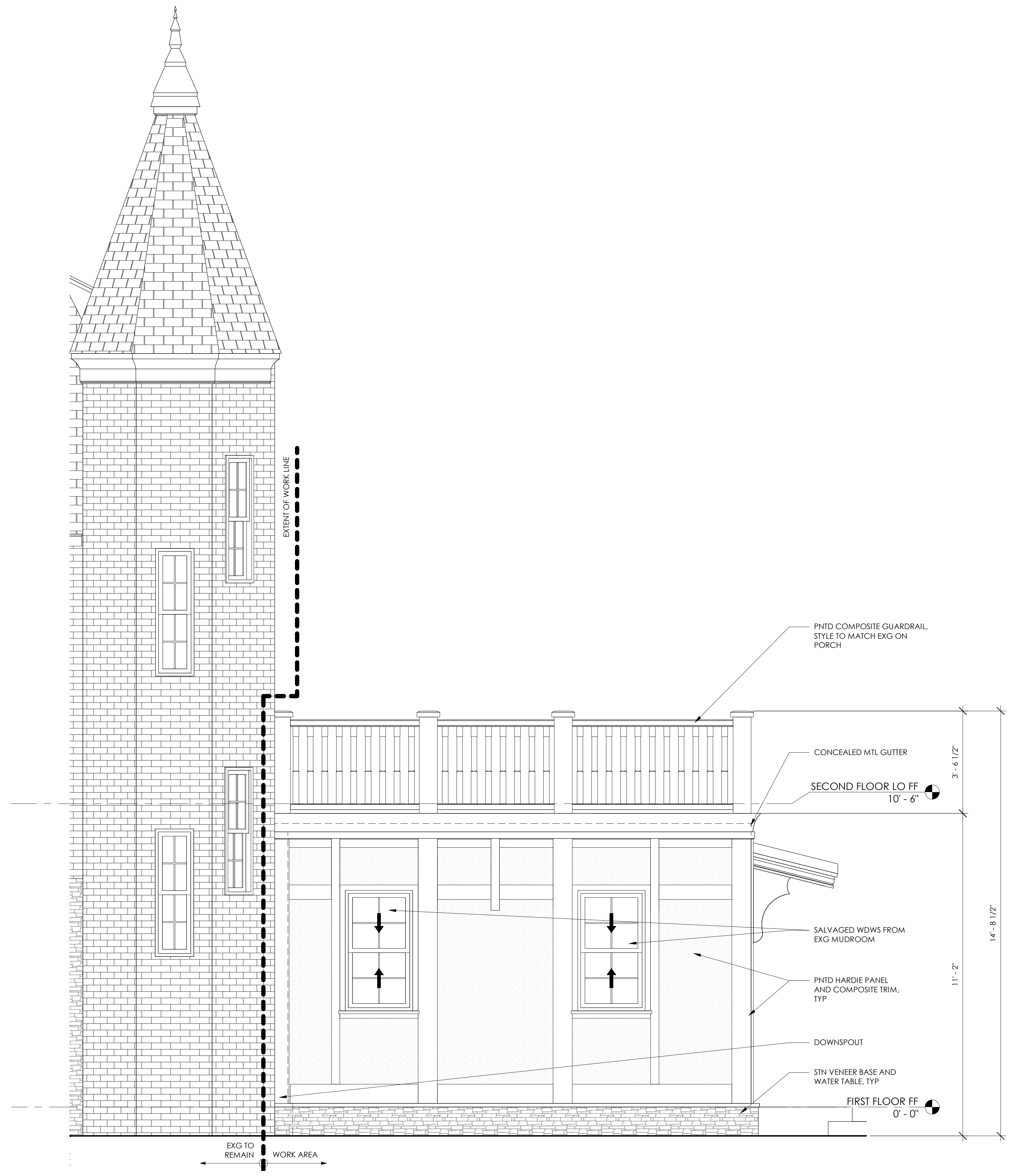
- EXISTING WALL TO REMAIN
- NEW WALL
- UPPER CABINETS

SEAL:

KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 ADDITION ELEVATION SOUTH
A3.1 1/2" = 1'-0"

PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 13, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE: **EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

A3.1

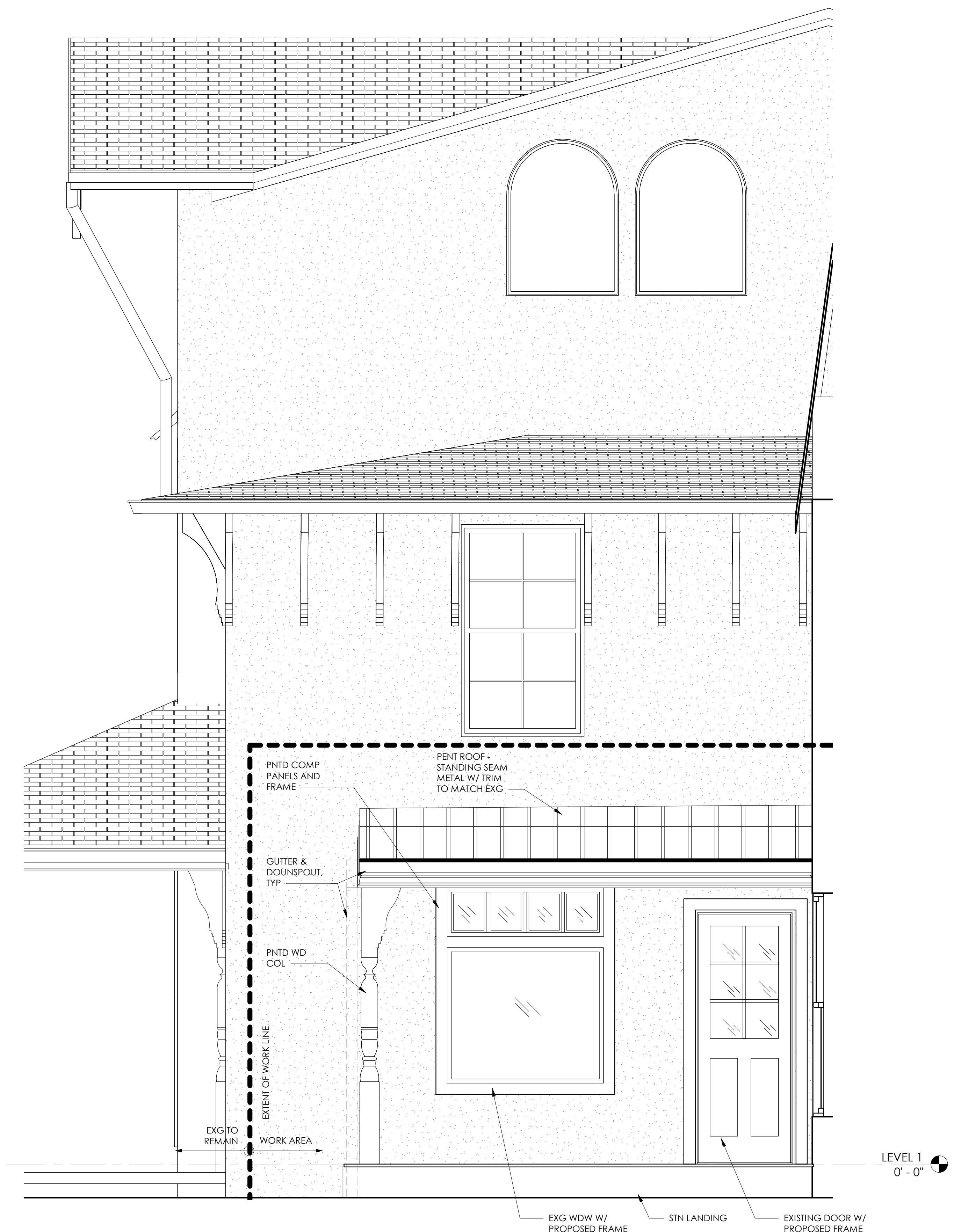
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC, EXPRESSLY DISCLAIMS ANY AND ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING BUT NOT LIMITED TO, SPECIAL, CONSEQUENTIAL, AND PUNITIVE DAMAGES, OF ANY KIND OR NATURE, ARISING OUT OF OR IN CONNECTION WITH THE SERVICES PROVIDED BY KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 Krieger + Associates Architects Inc.

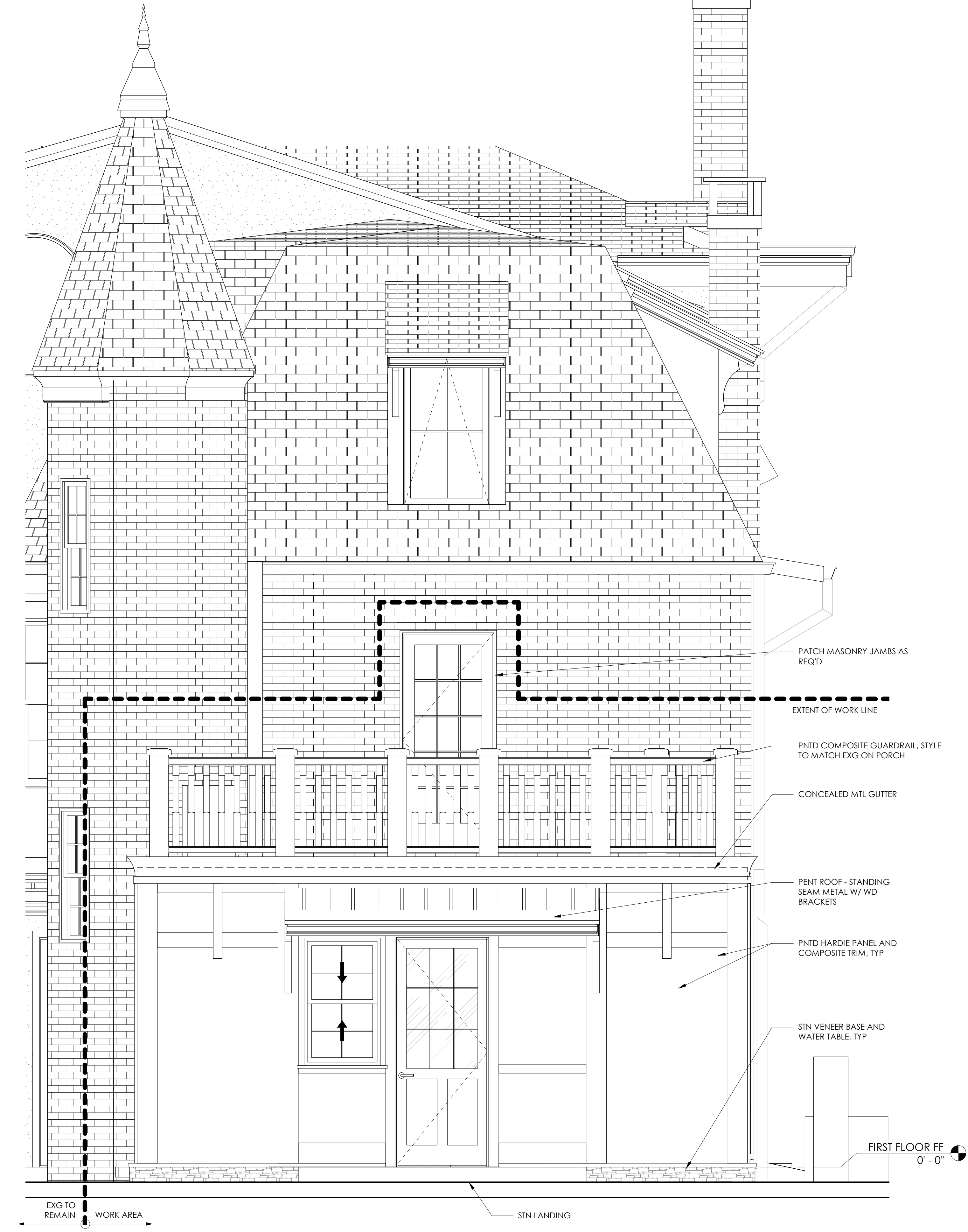
KEY PLAN:

CONSULTANTS:

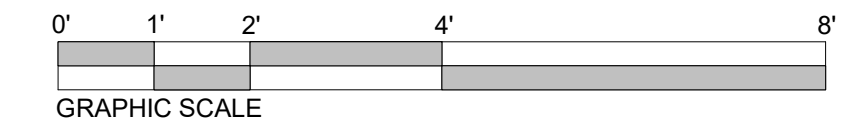
CONSULTANTS:



1 ENTRY ELEVATION
A3.2 1/2" = 1'-0"



2 ADDITION ELEVATION EAST
A3.2 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 13, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE: **EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

A3.2

CLIENT: **Ryan & Kerri Farragut**
rfarragut@usroofing.com | 610.633.7668

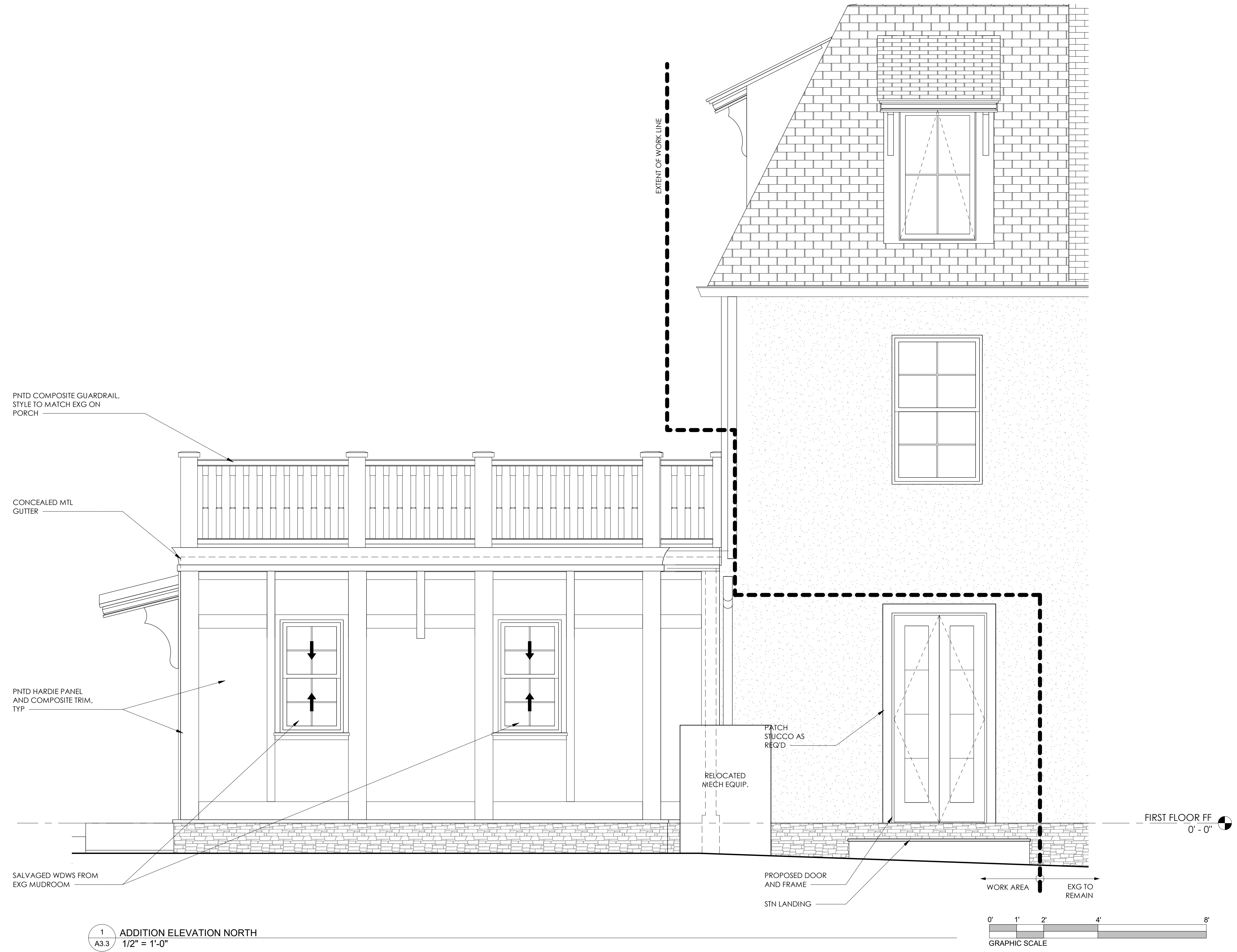
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. © 2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 ADDITION ELEVATION NORTH
A3.3 1/2" = 1'-0"

PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 13, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE: **EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

A3.3

SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, INCLUDING BUT NOT LIMITED TO, MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THESE PLANS ARE TO BE USED FOR THE EXCLUSIVE USE OF THE CLIENT AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

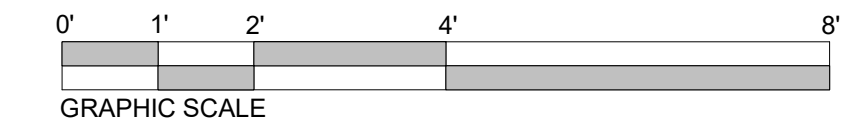
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION SOUTH - B
A3.8 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA
CLIENT: **Ryan & Kerri Farragut**
farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:
2307

ISSUE DATE:
FEBRUARY 13, 2025

STATUS:
FOR REVIEW

REVISION DATE:

No.	Date

SHEET TITLE:
GARAGE SCHEME B

SHEET NUMBER:

A3.8

SEAL:

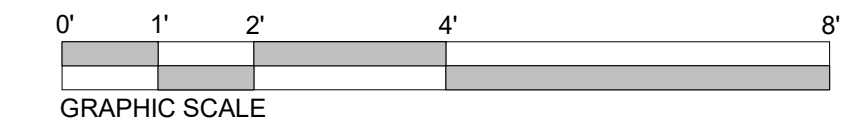
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION WEST - B
A3.9 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 13, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE: **GARAGE SCHEME B**

SHEET NUMBER:

A3.9

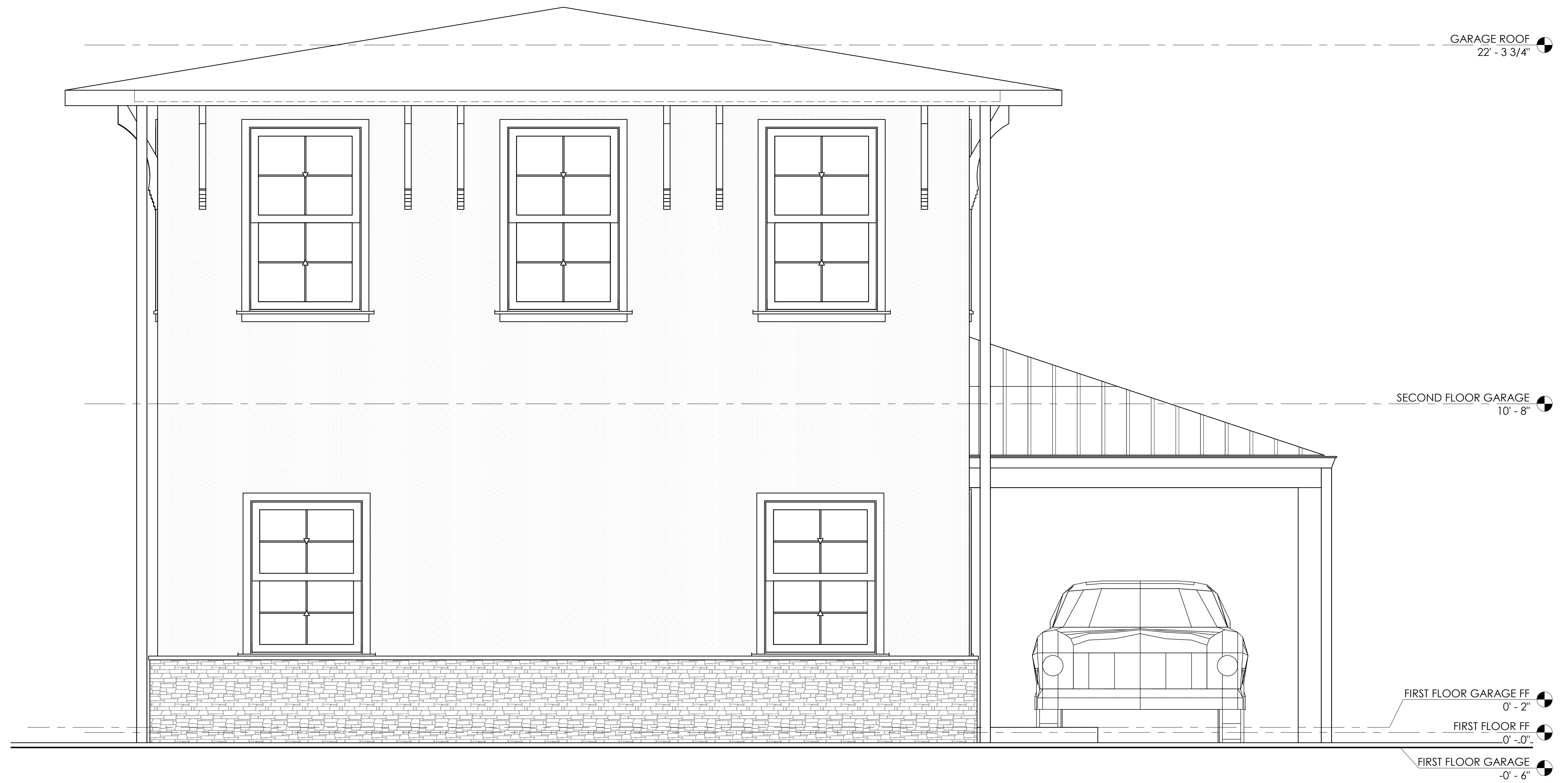
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, IN THESE PLANS. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

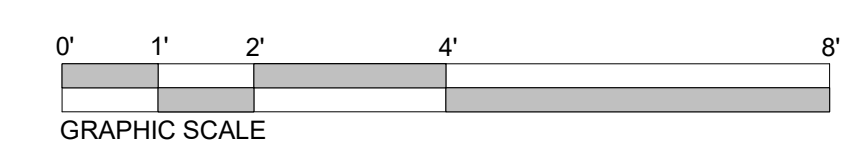
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION NORTH - B
A3.10 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA
CLIENT: **Ryan & Kerri Farragut**
farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:
2307

ISSUE DATE:
FEBRUARY 13, 2025

STATUS:
FOR REVIEW

REVISION DATE:

No.	Date

SHEET TITLE:
GARAGE SCHEME B

SHEET NUMBER:

A3.10

SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, IN THESE PLANS. THESE PLANS ARE TO BE USED FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. ARCHITECT: KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION EAST - B
A3.11 1/2" = 1'-0"

PROJECT: **FARRAGUT RESIDENCE**
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:
2307

ISSUE DATE:
FEBRUARY 13, 2025

STATUS:
FOR REVIEW

REVISION DATE:

No.	Date

SHEET TITLE:
GARAGE SCHEME B

SHEET NUMBER:

A3.11