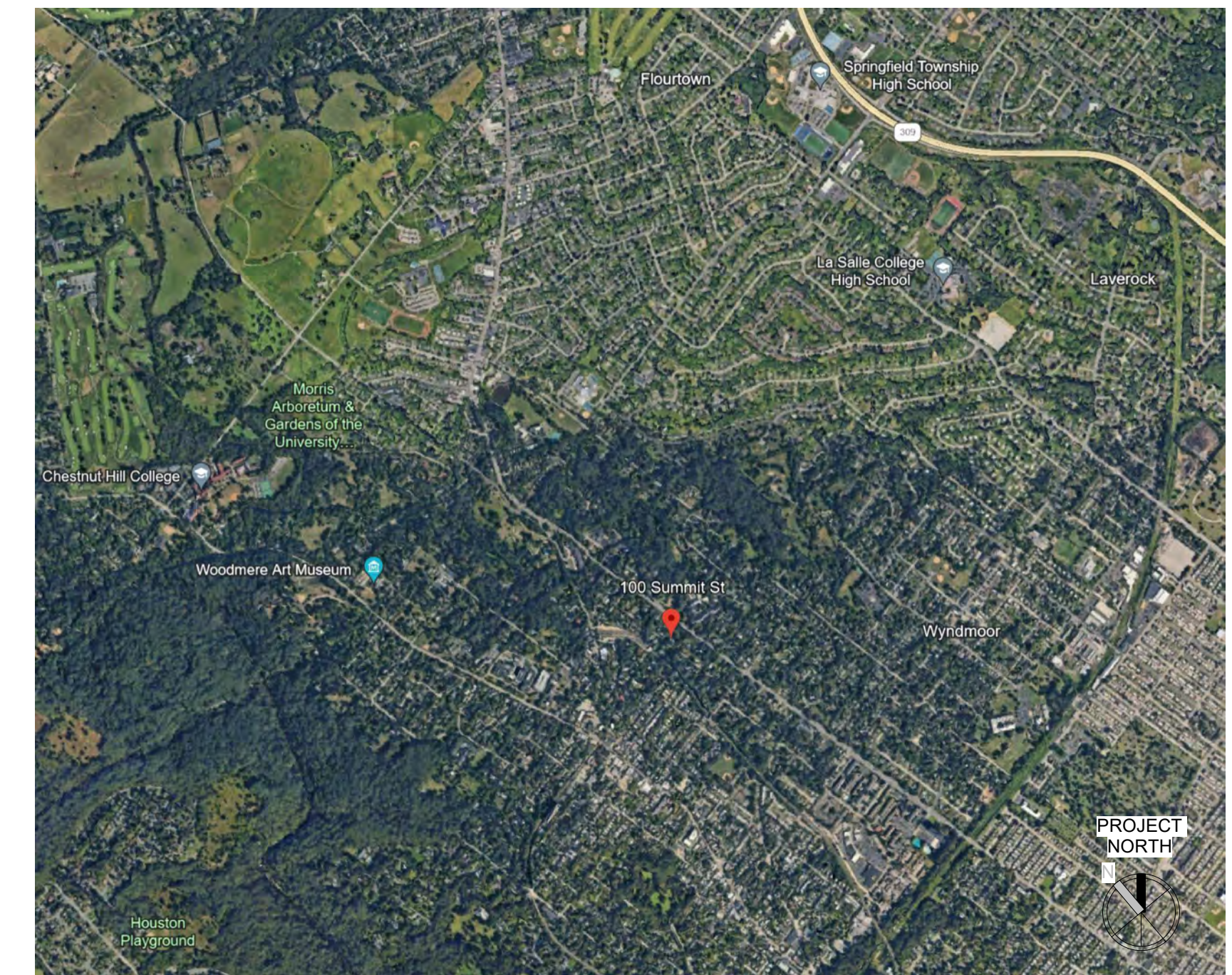


# FARRAGUT RESIDENCE

## 100 Summit Street, Philadelphia, PA, USA

OWNER  
**Ryan & Kerri Farragut**  
 100 Summit Street  
 Philadelphia, PA

ARCHITECT  
**KRIEGER + ASSOCIATES ARCHITECTS**  
 14 WEST HIGHLAND AVENUE  
 PHILADELPHIA, PA 19118



SITE LOCATION MAP

SEAL:

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KEY PLAN:

CONSULTANTS:

CONSULTANTS:

### GENERAL DRAWING NOTES

- IN CASE OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS GOVERN.
- SECTIONS AND DETAILS SHOWN, WHILE DRAWN FOR SPECIFIC LOCATIONS ARE INTENDED TO ESTABLISH THE GENERAL TYPES OF DETAILS TO BE USED THROUGHOUT. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES, SHALL BE REPEATED.
- CONTRACTOR TO VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM DRAWINGS. PROPOSED REMEDIES, IF REQUIRING ADDITIONAL WORK, ARE TO BE SUBMITTED FOR APPROVAL IN THE FORM OF WRITTEN CHANGE ORDERS TO THE OWNER IN ACCORDANCE WITH THE TERMS OF THE CONTRACT BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ITEMS NOT NOTED AS EXISTING ARE PROPOSED. DOORS AND WINDOWS NOT NUMBERED ON THE FLOOR PLANS OR ELEVATIONS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO EXISTING SURFACES ARE TO FINISH, UNLESS NOTED OTHERWISE.
- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS ARE INDICATED ON ARCHITECTURAL DRAWINGS FOR COORDINATION ONLY.
- THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), AND APPLICABLE LOCAL REGULATIONS.

### SPECIAL INSPECTION NOTES

- SPECIAL INSPECTIONS ARE REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR THIS PROJECT. SEE STATEMENT OF SPECIAL INSPECTIONS SCHEDULE FOR A LIST OF THE REQUIRED INSPECTIONS, AND FREQUENCY BY WHICH INSPECTIONS ARE TO BE CONDUCTED.
- IT IS THE OWNER'S RESPONSIBILITY TO RETAIN THE SERVICES OF A THIRD-PARTY SPECIAL INSPECTOR TO PERFORM SPECIAL INSPECTIONS. THE INSPECTION AGENCY MAY NOT BE THE DESIGN ARCHITECT OR STRUCTURAL ENGINEER OF RECORD TO AVOID CONFLICTS OF INTEREST. THE SPECIAL INSPECTION AGENCY MUST BE IAS ACCREDITED AND PRE-QUALIFIED BY THE CITY OF PHILADELPHIA TO PERFORM THE REQUIRED INSPECTIONS.
- THE STRUCTURAL ENGINEER OF RECORD IS TO BE THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF SPECIAL INSPECTIONS (DPRC-SI). THE DPRC-SI IS RESPONSIBLE FOR THE FOLLOWING:
  - IDENTIFYING REQUIRED SPECIAL INSPECTIONS
  - SUBMITTING STATEMENT OF SPECIAL INSPECTIONS
  - EVALUATING AND SELECTING A SPECIAL INSPECTIONS AGENCY
  - REPORTING NON-COMPLIANCE ISSUES TO THE CONTRACTOR AND TO L&I FOR ISSUES THAT ARE HAZARDOUS TO LIFE, SAFETY OR HEALTH.
  - REVIEWING AND APPROVING SPECIAL INSPECTIONS PROGRESS REPORTS AND FINAL REPORTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE SPECIAL INSPECTIONS, AND TO MAINTAIN CONTRACT DOCUMENTS ON-SITE FOR USE BY THE SPECIAL INSPECTOR. 48 HOURS NOTICE IS REQUIRED FOR FIELD INSPECTIONS, AND 7 DAYS NOTICE IS REQUIRED FOR OFF-SITE INSPECTIONS.
- A PRE-CONSTRUCTION MEETING IS RECOMMENDED TO DISCUSS SPECIAL INSPECTIONS. OWNER, DPRC-SI, ARCHITECT AND SPECIAL INSPECTOR TO ATTEND.

### MATERIAL LEGEND

FOAM INSULATION	BATT INSULATION	RIGID INSULATION (SMALL SCALE)
RIGID INSULATION (LARGE SCALE)	BRICK	CONCRETE
CONCRETE MASONRY	COMPOSITE MATL / FIBER CEMENT	BLOCKING
ROUGH WOOD	FINISH WOOD	LAMINATED VENEER LUMBER (LVL) / PARALLEL STRAND LUMBER (PSL)
SHEATHING (SMALL SCALE)	SHEATHING (LARGE SCALE)	MDO/MDF
VENT SPACE / DRAINAGE PLANE	STONE	TILE
GRAVEL	EARTH	

### SYMBOL LEGEND

	1i	WALL TYPE
	1	REVISION
	CL	CENTERLINE
	A	WINDOW TYPE
	101-1	DOOR TYPE
<b>Room name</b>		
	1 Ref A101	ROOM NAME AND/OR NUMBER
	1 Ref A101	EXTERIOR ELEVATION
	1 SIM A101	BUILDING/WALL SECTION
	1 SIM A101	DETAIL
	1 SIM A101	ENLARGED DETAIL
	1 Ref A101	INTERIOR ELEVATION
	12	SLOPE
	Name Elevation	VERTICAL ELEVATION
		EXG TOPOGRAPHIC ELEVATION

### ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	FE(C)	FIRE EXTINGUISHER (CABINET)	PHI(D)	PAINTED PAIR
ADDN	ADDITIONAL	FEN	FENCE	PSL	PARALLEL STRAND LUMBER
ADJ	ADJACENT	FF	FILTER FABRIC	PT	PRESSURE TREATED
ADJUST	ADJUSTABLE	FG	FIBERGLASS	R	RISER
AFF	ABOVE FINISH FLOOR	FLR	FLOOR	RAD	RADIUS
AL	ALUMINUM	FLUOR	FLUORESCENT	RAG	RETURN AIR GRILL
ALT	ALTERNATE	FP	FIREPLACE	RCP	REFLECTED CEILING PLAN
AP	ACCESS PANEL	FT	FOOT	REF	REFRIGERATOR
APP	APPLIANCE	FTG	FOOTING	RECP	RECEPTACLE
APPROX	APPROXIMATE	FX	FIXED	REF	REFRIGERATOR
AWN	AWNING	GA	GAUGE	REQD	REQUIRED
B/O	BOTTOM OF	GALV	GALVANIZED	RES	RESILIENT
BC	BRICK COURSE(S)	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
BD	BOARD	GWB	GYPSSUM WALL BOARD	S&R	SHELF & ROD
BDBD	BEAD BOARD	HB	HIGH HOSEBIB	SAG	SUPPLY AIR GRILL
BM	BEAM	H	HIGH	SC	SOLID CORE
BOD	BASIS OF DESIGN	HM	HARDWOOD	SCHED	SCHEDULE
BR	BRUSHED	HOP	HOPPER	SCR	SCREEN SECTION
BSMT	BASEMENT	HORIZ	HORIZONTAL	SECT	SECTION
CANT	CANTILEVER(ED)	HT	HEIGHT	SH	SINGLE HUNG
CBB	CEMENTITIOUS BACKER BOARD	HTR	HEATER	SIM	SIMILAR
CBNT	CABINET	HT	HEIGHT	SL	SLIDER
CI	CAST IRON	HTR	HEATER	SSTL	STAINLESS STEEL
CJ	CONTROL JOINT	INCAN	INCANDESCENT	ST	STUCCO
CL	CENTER LINE	INSUL	INSULATION	STD	STANDARD
CLNG	CEILING	INT	INTERIOR	STL	STEEL
CLR	CLEAR	JT	JOINT	STN	STONE
CMU	CONCRETE MASONRY UNIT	L	LOW	STR	STRUCTURAL
COL	COLUMN	LIN	LINOLEUM	T	TREAD
COMP	COMPOSITE	LKG	LOOKING	T&G	TONGUE & GROOVE
CONC	CONCRETE	LT	LIGHT	T/O	TOP OF
CONT	CONTINUOUS	LV	LOW VOLTAGE	TBD	TO BE DETERMINED
CONTR	CONTRACTOR	LVL	LAMINATED VENEER LUMBER	TE	TEMPERED
CPT	CARPET	MATL	MATERIAL	TYP	TYPICAL
CSMT	CASEMENT	MAX	MAXIMUM	U/C	UNDER CABINET
CT	CERAMIC TILE	MDO	MEDIUM DENSITY OVERLAY	U/S	UNDERSIDE
DBL	DOUBLE	MFR	MANUFACTURER	UNF	UNFINISHED
DED	DEDICATED	MIN	MINIMUM	UNO	UNLESS NOTED OTHERWISE
DEMO	DEMOLITION	MO	MASONRY	VCB	VINYL COVE
DH	DOUBLE HUNG	MTD	MOUNTED	VCT	VINYL COMPOSITION TILE
DIA	DIAMETER	NA	NOT APPLICABLE	VERT	VERTICAL
DIMS	DIMENSIONS	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
DN	DOWN	O/A	OVERALL	VIR	VENT THRU ROOF
DS	DOWNSPOUT	O/C	ON CENTER	W/	WITH
DTL(S)	DETAIL(S)	OH	OVERHEAD	WD	WOOD
DWG(S)	DRAWING(S)	OPER	OPERABLE	WDW	WINDOW
EA	EACH	OPNG	OPENING	WG	WIRE GLASS
EJ	EXPANSION JOINT	OPP	OPPOSITE	WH	WATER HEATER
ELEC	ELECTRIC	PAF	POWDER ACTUATED FASTENER	WP	WALL PAPER
ENG	ENGINEERED	PLAM	PLASTIC LAMINATE	WWF	WELDED WIRE FABRIC
EQ	EQUAL EQUIVALENT	PLST	PLASTER		
EWC	ELECTRIC WATER COOLER	PLYWD	PLYWOOD		
EXG	EXISTING				
EXP	EXPANSION				
EXT	EXTERIOR				
FD	FLOOR DRAIN				
FDN	FOUNDATION				

### SHEET LIST

SHEET NUMBER	SHEET NAME	PRELIMINARY PRICING SET   03.28.24	ISSUE FOR ZONING PERMIT   08.13.24	PHC APPLICATION   01.10.25	ISSUE FOR REVIEW   02.06.25
<b>0-GENERAL</b>					
G0.1	COVER SHEET				
G0.2	PRELIMINARY PRICING SCHEDULE				
<b>1-ZONING</b>					
Z0.1	SITE PLAN				
Z0.2	SITE PLAN EXPANDED				
Z0.3	PARTIAL SITE SECTION				
<b>2-ARCHITECTURALS</b>					
3D	3D VIEWS				
A1.1	DEMOLITION PLANS & SCHEDULES				
A2.1	FIRST FLOOR PLAN				
A2.2	SECOND FLOOR PLAN				
A3.1	EXTERIOR ELEVATION - ADDITION				
A3.2	EXTERIOR ELEVATION - ADDITION				
A3.3	EXTERIOR ELEVATION - ADDITION				
A3.4	EXTERIOR ELEVATION - GARAGE				
A3.5	EXTERIOR ELEVATION - GARAGE				
A3.6	EXTERIOR ELEVATION - GARAGE				
A3.7	EXTERIOR ELEVATION - GARAGE				
A3.8	GARAGE SCHEME B				
A3.9	GARAGE SCHEME B				
A3.10	GARAGE SCHEME B				
A3.11	GARAGE SCHEME B				
A4.1	BUILDING SECTION - GARAGE				

PROJECT: **FARRAGUT RESIDENCE**  
 100 Summit Street, Philadelphia, PA, USA

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 6, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

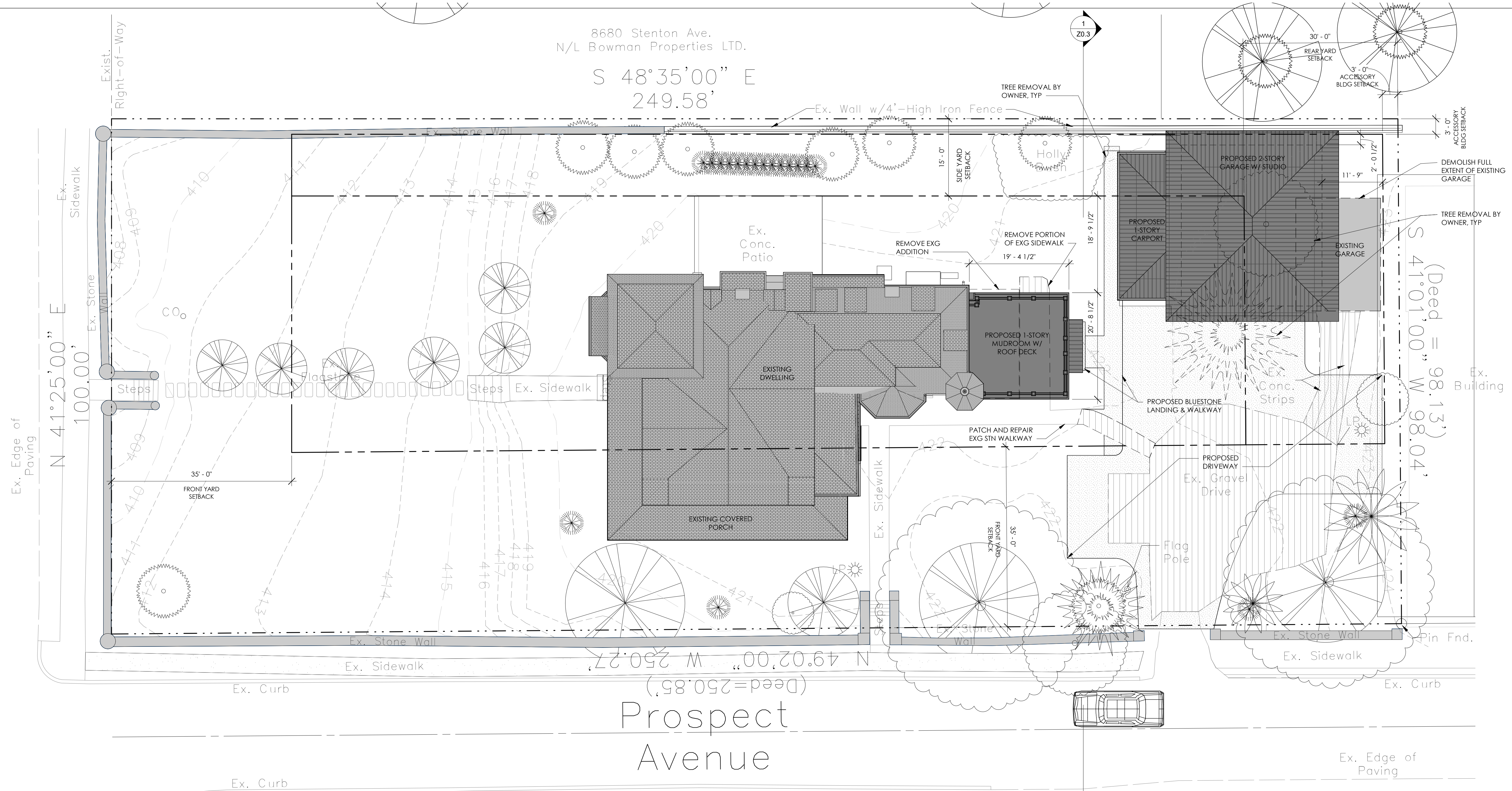
No.	Date

SHEET TITLE: **COVER SHEET**

SHEET NUMBER:

**G0.1**

CLIENT: **Ryan & Kerri Farragut**  
 rfarragut@usroofing.com | 610.633.7688



8680 Stenton Ave.  
N/L Bowman Properties LTD.  
S 48°35'00" E  
249.58'

N 41°25'00" E  
100.00'

S 41°01'00" W 98.13'  
W 98.04'

N 49°02'00" W 250.27'  
(Deed=250.85)  
Prospect Avenue

**Zoning Code**

Item	Existing	Removed	Proposed	Total
LOT AREA	24,500 SF	NO CHANGE	NO CHANGE	24,500 SF
DWELLING ROOF AREA	2,000 SF	200 SF	1,800 SF	1,800 SF
ACCESSORY ROOF AREA	365 SF	365 SF	1,400 SF	1,400 SF
TOTAL BUILDING ROOF AREA	2,365 SF	565 SF	3,200 SF	3,200 SF
UNCOVERED HARDSURFACE AREA	2,400 SF	1,100 SF	2,900 SF	2,900 SF
TOTAL IMPERVIOUS AREA (B+C)	6,185 SF	2,150 SF	8,000 SF	8,000 SF

**Zoning Requirements and Analysis**

Item	Code Requirement	Existing	Proposed
ZONING CLASSIFICATION	R5S1	R5S1	NO CHANGE
OVERLAY DISTRICT	WISSAHICKON WATERSHED FAIRHARTON PARK	N/A	N/A
WISSAHICKON WATERSHED CATEGORY	S (NO LIMIT)	S (NO LIMIT)	NO CHANGE
STEEP SLOPES	25% OR GREATER: NO SITE CLEARING OR EARTH MOVING ACTIVITY PERMITTED (DE 15%); 25%: SITE CLEARING OR EARTH MOVING ACTIVITY PERMITTED IN ACCORDANCE WITH EARTH MOVING PLANS APPROVED BY PLANNING COMMISSIONER.		
WATERCOURSE SETBACKS IN WATERSHED	NO IMPERVIOUS COVERAGE PERMITTED WITHIN 200' OF BANK OF A BODY OF WATER; NO IMPERVIOUS COVERAGE PERMITTED WITHIN 50' OF CENTERLINE OF SWALE WITHIN WATERSHED.		
EARTH DISTURBANCE AREA	N/A	N/A	1,500 SF
HISTORICAL DESIGNATION	CHESTNUT HILL HISTORIC DISTRICT ON THE NATIONAL REGISTER	SIGNIFICANT	NO CHANGE
PERMITTED USE	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING	NO CHANGE
PERMITTED BUILDING TYPE	DETACHED	DETACHED	DETACHED
MINIMUM LOT AREA	10,000 SF	24,500 SF	NO CHANGE
MINIMUM LOT WIDTH	25'	75'	NO CHANGE
FRONT YARD SETBACK	35'	35'	NO CHANGE
SIDE YARD AND COURT SETBACK	15'	15'	NO CHANGE
MINIMUM	N/A	N/A	N/A
EDGE YARD SETBACK AGGREGATE	N/A	N/A	N/A
REAR YARD SETBACK	30'	30'	NO CHANGE
MAXIMUM OCCUPIED AREA (B/A)	35%	13.4%	20.0%
CORNER LOT	15'	15'	NO CHANGE
MINIMUM OPEN AREA (A/B/A)	5%	24.6%	60.0%
MAXIMUM BUILDING HEIGHT - MEASURED TO MIDPOINT OF ROOF	35'	44'	15' ADDITION
ACCESSORY BUILDING	PERMITTED	1	NO CHANGE
ACCESSORY BUILDING SETBACKS	5'	5'	5'-4" - 14'-0"
ACCESSORY BUILDING HEIGHT	10'	10'	10'-0" GARAGE/STUDIO
MAXIMUM IMPERVIOUS COVERAGE (%) (A X 100)	N/A	25.2%	35.9%

2 SITE PLAN  
Z0.1 1" = 10'-0"

**GENERAL SITE PLAN NOTES**

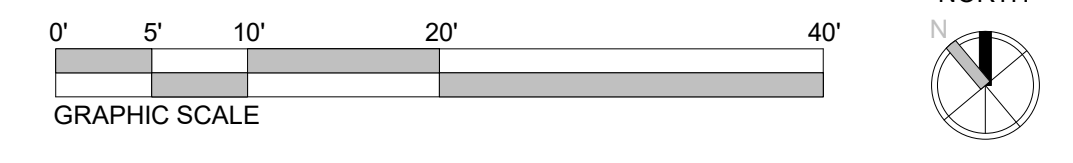
- SITE PLAN INFORMATION TAKEN FROM 02/06/2018.
- PROVIDE HAY BALES, SILTATION FENCES OR OTHER APPROPRIATE EROSION CONTROL MEASURES AROUND CONSTRUCTION SITE AND STORED MATERIALS.
- CLEAN STREET OF ALL DEBRIS AT THE END OF EACH WORK DAY.
- DOWNSPOUTS TO BE CONNECTED TO EXISTING STORM WATER MANAGEMENT SYSTEM.
- CONTRACTOR TO SEED LAWN IN AREAS DISTURBED BY CONSTRUCTION ACTIVITY.
- VERTICAL DATUM IS CITY OF PHILADELPHIA DATUM.
- ALL DIMENSIONS ARE CITY DISTRICT STANDARD EXCEPT DIMENSIONS DENOTED (000.00) AS US STANDARD.

**SITE PLAN LEGEND**

AC	AIR CONDITIONER	GU	GUTTER
BF	BASEMENT FLOOR	GV	GAS VALVE
BW	BOTTOM OF WALL	INV	INVERT
CO	CLEANOUT	SL	STREET LIGHT
D	DRAIN	TG	TOP OF GRATE
DS	DOWNSPOUT	TR	TRASH BIN
FF	FIRST FLOOR	TW	TOP OF WALL
FH	FIRE HYDRANT	UDG	UNDERGROUND
GF	GARAGE FLOOR	UP	UTILITY POLL
GS	GARAGE SILL	WV	WATER VALVE
		WW	WINDOW WELL

— X — X — X — X	FENCE
---	PROPERTY LINES
---	BUILDING SETBACK LINES
■	INDICATES EXISTING ROOF AREA
■	INDICATES ADDITIONAL ROOF AREA
□	INDICATES UNCOVERED HARDSURFACE AREA TO BE REMOVED
□	INDICATES ADDITIONAL UNCOVERED HARDSURFACE AREA



SEAL:

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA  
CLIENT: **Ryan & Kerri Farragut**

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **FEBRUARY 6, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE: **SITE PLAN**

SHEET NUMBER:

**Z0.1**

farragut@usroofing.com | 610.633.7668

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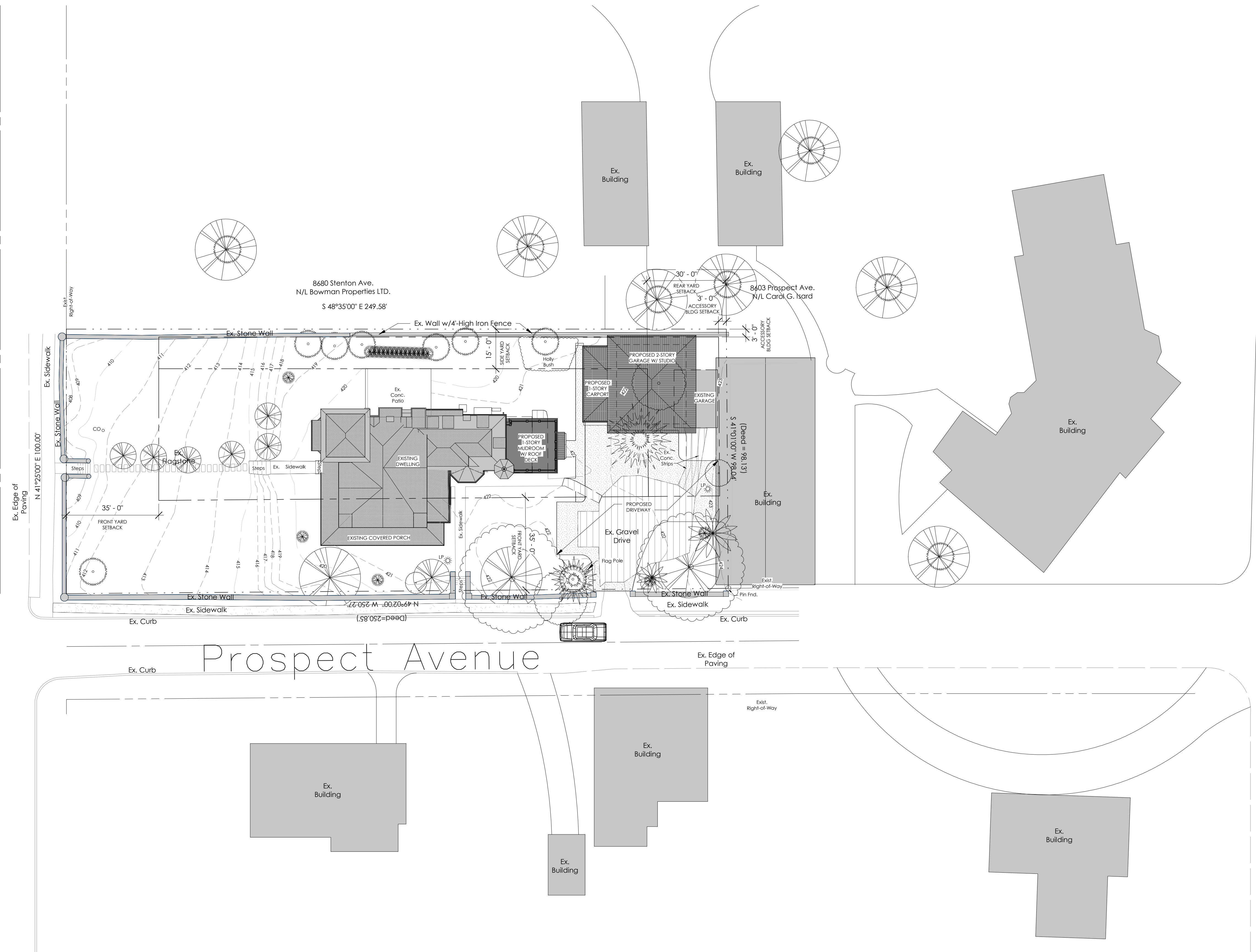
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KEY PLAN:

CONSULTANTS:

CONSULTANTS:

Summit Street



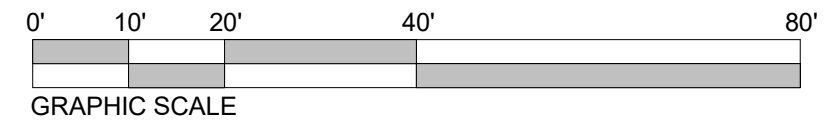
Prospect Avenue

**SITE PLAN LEGEND**

- |    |                 |     |              |
|----|-----------------|-----|--------------|
| AC | AIR CONDITIONER | GU  | GUTTER       |
| BF | BASEMENT FLOOR  | GV  | GAS VALVE    |
| BW | BOTTOM OF WALL  | INV | INVERT       |
| CO | CLEANOUT        | SL  | STREET LIGHT |
| D  | DRAIN           | TG  | TOP OF GRATE |
| DS | DOWNSPOUT       | TR  | TRASH BIN    |
| FF | FIRST FLOOR     | TW  | TOP OF WALL  |
| FH | FIRE HYDRANT    | UDG | UNDERGROUND  |
| GF | GARAGE FLOOR    | UP  | UTILITY POLL |
| GS | GARAGE SILL     | WV  | WATER VALVE  |
|    |                 | WW  | WINDOW WELL  |

- |  |  |
|--|--|
|  | FENCE  |
|  | PROPERTY LINES                                     |
|  | BUILDING SETBACK LINES                             |
|  | INDICATES EXISTING ROOF AREA                       |
|  | INDICATES ADDITIONAL ROOF AREA                     |
|  | INDICATES UNCOVERED HARDSURFACE AREA TO BE REMOVED |
|  | INDICATES ADDITIONAL UNCOVERED HARDSURFACE AREA    |

1 SITE PLAN  
20.2 1" = 20'-0"



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ISSUE DATE: **FEBRUARY 6, 2025**

STATUS: **FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE: **SITE PLAN EXPANDED**

SHEET NUMBER:

**Z0.2**

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KEY PLAN:

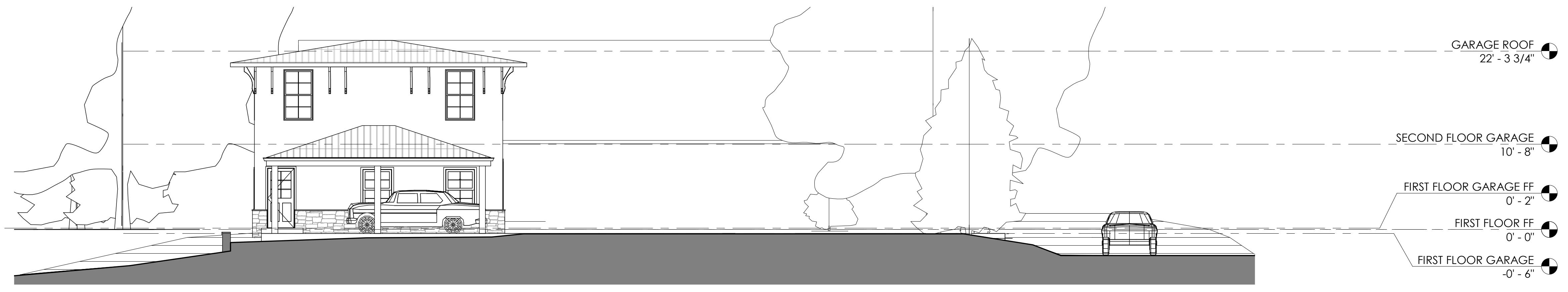
CONSULTANTS:

CONSULTANTS:



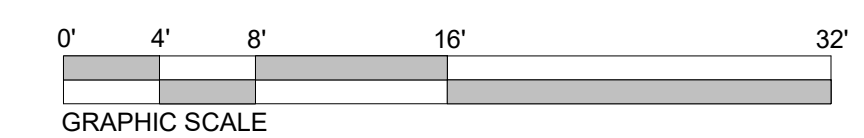
2  
Z0.3 EXTERIOR ELEVATION - FROM PROSPECT  
1/8" = 1'-0"

- GARAGE ROOF 22' - 3 3/4"
- SECOND FLOOR GARAGE 10' - 8"
- FIRST FLOOR GARAGE FF 0' - 2"
- FIRST FLOOR FF 0' - 0"
- FIRST FLOOR GARAGE -0' - 6"



1  
Z0.3 PARTIAL SITE SECTION  
1/8" = 1'-0"

- GARAGE ROOF 22' - 3 3/4"
- SECOND FLOOR GARAGE 10' - 8"
- FIRST FLOOR GARAGE FF 0' - 2"
- FIRST FLOOR FF 0' - 0"
- FIRST FLOOR GARAGE -0' - 6"



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REVISION DATE:

No.	Date

SHEET TITLE: **PARTIAL SITE SECTION**

SHEET NUMBER: **Z0.3**

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1  
3D  
3D View - View from Prospect Ave



2  
3D  
3D View - Driveway looking West

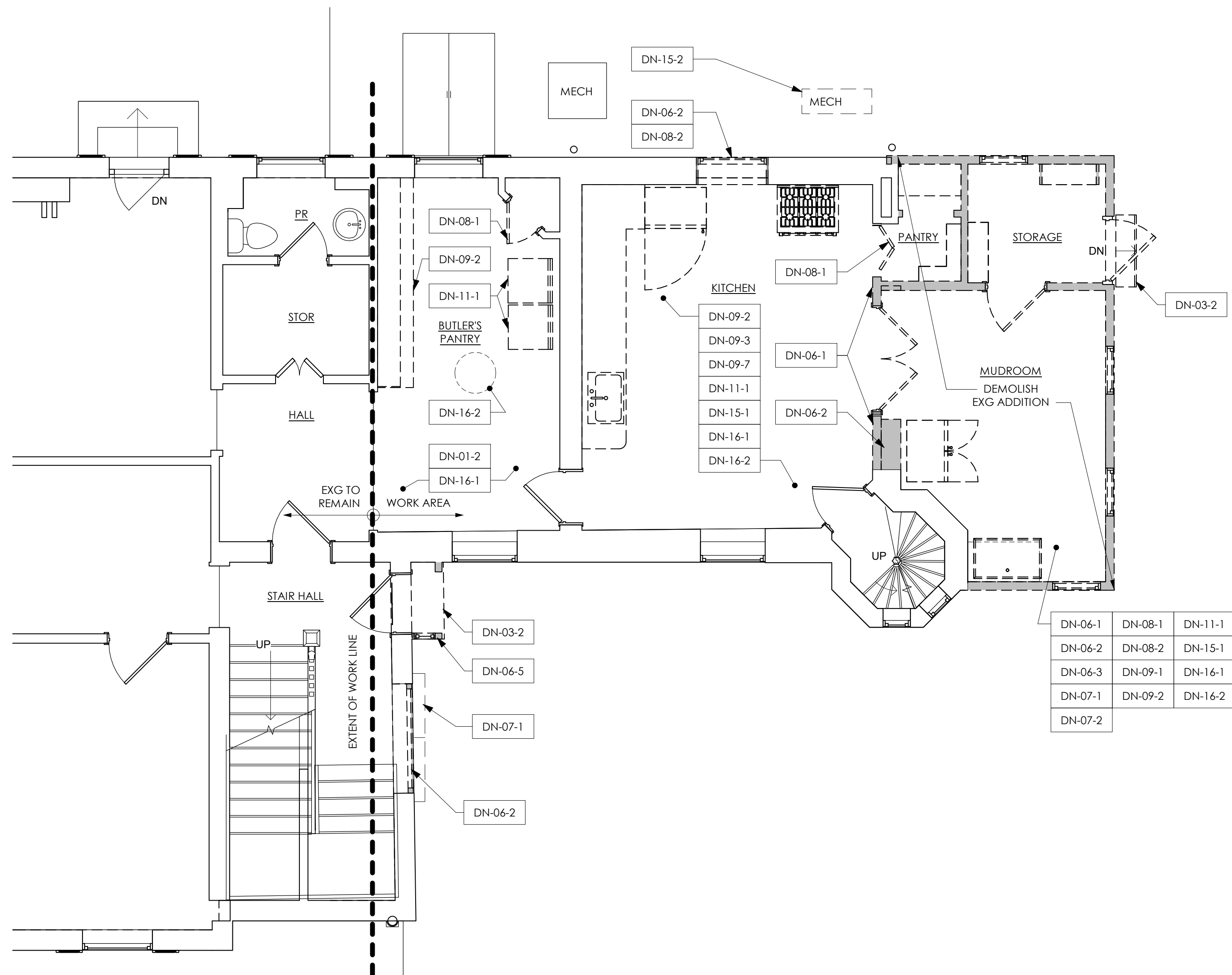


3  
3D  
3D View - Driveway looking East

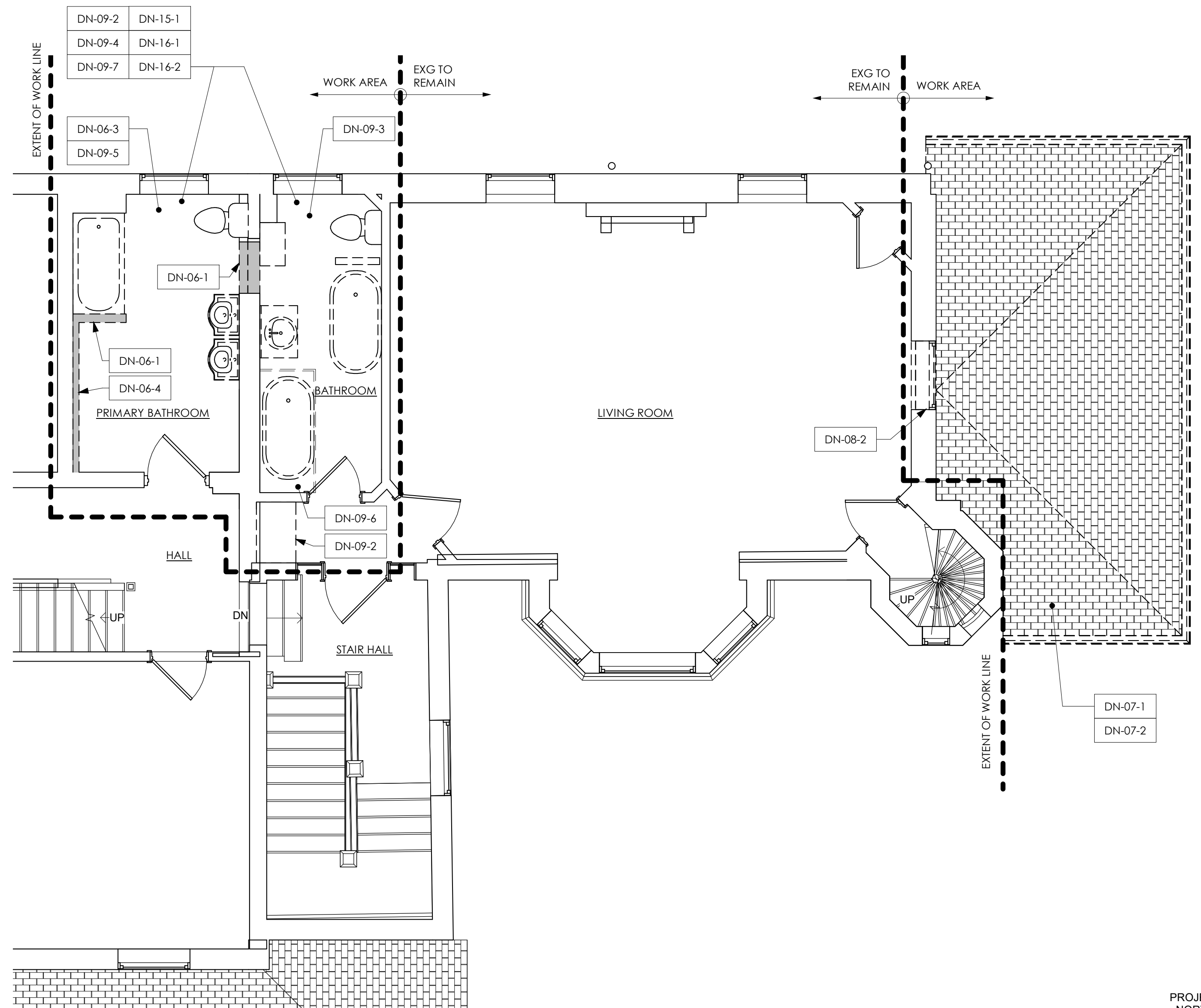


4  
3D  
3D View - Addition

## FARRAGUT RESIDENCE



1  
A1.1  
FIRST FLOOR DEMOLITION  
PLAN - PHASE A  
1/4" = 1'-0"



2  
A1.1  
SECOND FLOOR DEMOLITION  
PLAN - PHASE C  
1/4" = 1'-0"

**DEMOLITION PLAN LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING ITEM TO BE DEMOLISHED
- EXISTING WALL TO BE DEMOLISHED

**GENERAL DEMOLITION NOTES**

1. SEE FLOOR PLAN FOR DIMENSIONS AND DETAILS OF PROPOSED OPENINGS IN EXISTING BUILDING.
2. SALVAGE EXISTING DOORS FOR RE-USE. UNO.
3. DEMOLITION WORK BY GC. UNO.
4. ASSESS THE EXISTING MECHANICAL AND ELECTRICAL SYSTEMS TO VERIFY THAT EXISTING IS ADEQUATE TO SUPPORT PROPOSED WORK.
5. DEMOLITION PERMIT SET IS FOR NON-STRUCTURAL DEMOLITION ONLY.

KEYNOTE NUMBER	DESCRIPTION OF WORK
DN-01-2	EXISTING FLOORING TO REMAIN.
DN-03-2	REMOVE EXISTING CONCRETE STAIR AND/OR LANDING.
DN-06-1	REMOVE EXISTING INTERIOR PARTITION, INCLUDING WALL FRAMING AND FINISH MATERIAL.
DN-06-2	REMOVE EXISTING EXTERIOR WALL INCLUDING FRAMING, SHEATHING, INSULATION AND FINISH MATERIALS.
DN-06-3	REMOVE EXISTING CEILING AND/OR SOFFIT, INCLUDING FRAMING AND FINISH MATERIAL.
DN-06-4	REMOVE EXISTING FURRED OUT PARTITION, INCLUDING FRAMING AND FINISH MATERIAL.
DN-06-5	REMOVE EXISTING ENTRY SURROUND, WINDOW, SOFFIT, AND ROOF.
DN-07-1	REMOVE EXISTING FINISH ROOFING MATERIAL, INCLUDING UNDERLAYMENT AND RELATED ROOF FLASHING.
DN-07-2	REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL HANGERS AND ACCESSORIES.
DN-08-1	REMOVE DOOR, FRAME, AND HARDWARE. SEE GENERAL DEMOLITION NOTES FOR ADDITIONAL INFORMATION.
DN-08-2	REMOVE WINDOW AND FRAME. SALVAGE FOR REUSE.
DN-09-1	REMOVE EXISTING FLOOR FINISHES AND SUBFLOOR.
DN-09-2	REMOVE EXISTING CABINETS/CASEWORK.
DN-09-3	REMOVE EXISTING WALL TILE. SALVAGE FOR REUSE.
DN-09-4	REMOVE EXISTING WOOD WAINSCOT. SALVAGE FOR REUSE.
DN-09-5	RETAIN HARDWOOD FLOORING AT UPPER LEVEL PRIMARY BATHROOM. PATCH AND REFINISH; PREP FLOOR TO RECEIVE SALVAGED AND PROPOSED MARBLE INSERTS BENEATH TOILET AND TUB.
DN-09-6	REMOVE EXISTING MARBLE/STN FLOOR INSERTS. SALVAGE FOR REUSE.
DN-09-7	REMOVE EXISTING FLOOR FINISHES AND PREP SUBFLOOR FOR PROPOSED WORK.
DN-11-1	REMOVE EXISTING APPLIANCE(S) AND SALVAGE FOR REUSE.
DN-15-1	REMOVE EXISTING PLUMBING FIXTURE AND/OR FAUCET. SALVAGE FOR REUSE.
DN-15-2	REMOVE AND RELOCATE EXISTING MECHANICAL EQUIPMENT AS REQUIRED FOR PROPOSED WORK.
DN-16-1	REMOVE EXISTING ELECTRICAL DEVICES, SWITCHES, AND OUTLETS.
DN-16-2	REMOVE EXISTING LIGHTING FIXTURES AND SALVAGE FOR REUSE.

**Work By Owner Schedule**

ITEMS TO BE PURCHASED, DELIVERED AND INSTALLED BY OWNER UNO; CONTRACTOR TO COORDINATE SCHEDULE WITH OWNER

THE FOLLOWING ITEMS ARE THE RESPONSIBILITY OF THE OWNER AND ARE NOT IN THE CONTRACT SUM:

Item	Description
LANDSCAPING (AND ON-SITE STORM WATER MANAGEMENT SYSTEM)	LANDSCAPING (AND ON-SITE STORM WATER MANAGEMENT SYSTEM) TO BE PURCHASED AND INSTALLED BY OWNER.
ROOFING (EXCLUDING SHEATHING)	PROPOSED ROOFING, EXCLUDING SHEATHING, TO BE PURCHASED AND INSTALLED BY OWNER.
APPLIANCES	APPLIANCES TO BE PURCHASED AND INSTALLED BY OWNER.
CABINETS	CABINETS TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR OR OTHERS.
SECURITY SYSTEM	CONTRACTOR TO COORDINATE INSTALLATION BY OTHERS.
CABLE/SATELLITE DISH/DATA WIRING	CABLE/SATELLITE DISH/DATA WIRING TO BE PURCHASED AND INSTALLED BY OWNER.
AUDIO/VISUAL SYSTEM	AUDIO/VISUAL SYSTEM, INCLUDING SPEAKERS AND WIRING, TO BE PURCHASED AND INSTALLED BY OWNER.
WINDOW TREATMENTS	BLINDS, DRAPES AND INTERIOR SHUTTERS TO BE PURCHASED AND INSTALLED BY OWNER.
PRIMARY BATHROOM MIRROR	PRIMARY BATHROOM MIRROR TO BE PROVIDED AND INSTALLED BY OWNER.

**Alternate Schedule**

AN ALTERNATE IS AN AMOUNT PROPOSED BY BIDDER FOR CERTAIN WORK THAT MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF OWNER ACCEPTS THE ALTERNATE.

THE COST OR CREDIT FOR EACH ALTERNATE IS THE ADDITION TO OR DEDUCTION FROM CONTRACT SUM TO INCORPORATE THE ALTERNATE INTO THE WORK.

NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.

INDICATE ON THE BID FORM AMOUNTS TO BE DEDUCTED FROM OR ADDED TO CONTRACT SUM FOR THE FOLLOWING ALTERNATES:

Item	Description
ALTERNATE NUMBER 1	PROVIDE IN-FLOOR HEATING AT GARAGE SLAB
ALTERNATE NUMBER 2	PROVIDE NEW WINDOWS AT MUDROOM ADDITION
ALTERNATE NUMBER 3	PROVIDE @ GARAGE 1ST FLOOR WALLS: 8" CMU W/ 3-5/8" MTL STUD FURRING; FILL FURRING CAVITIES W/ 2LB HIGH DENSITY CLOSED-CELL SPRAY FOAM INSULATION (R-20 MIN) + 5/8" GWB WALL FINISH

SEAL:

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA  
CLIENT: **Ryan & Kerri Farragut**

ARCHITECT PROJECT NUMBER:  
**2307**

ISSUE DATE:  
**FEBRUARY 6, 2025**

STATUS:  
**FOR REVIEW**

REVISION DATE:

No.	Date

SHEET TITLE:  
**DEMOLITION PLANS & SCHEDULES**

SHEET NUMBER:

**A1.1**

farragut@usroofing.com | 610.633.7668

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CONSULTANTS:

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farragut@usroofing.com | 610.633.7688

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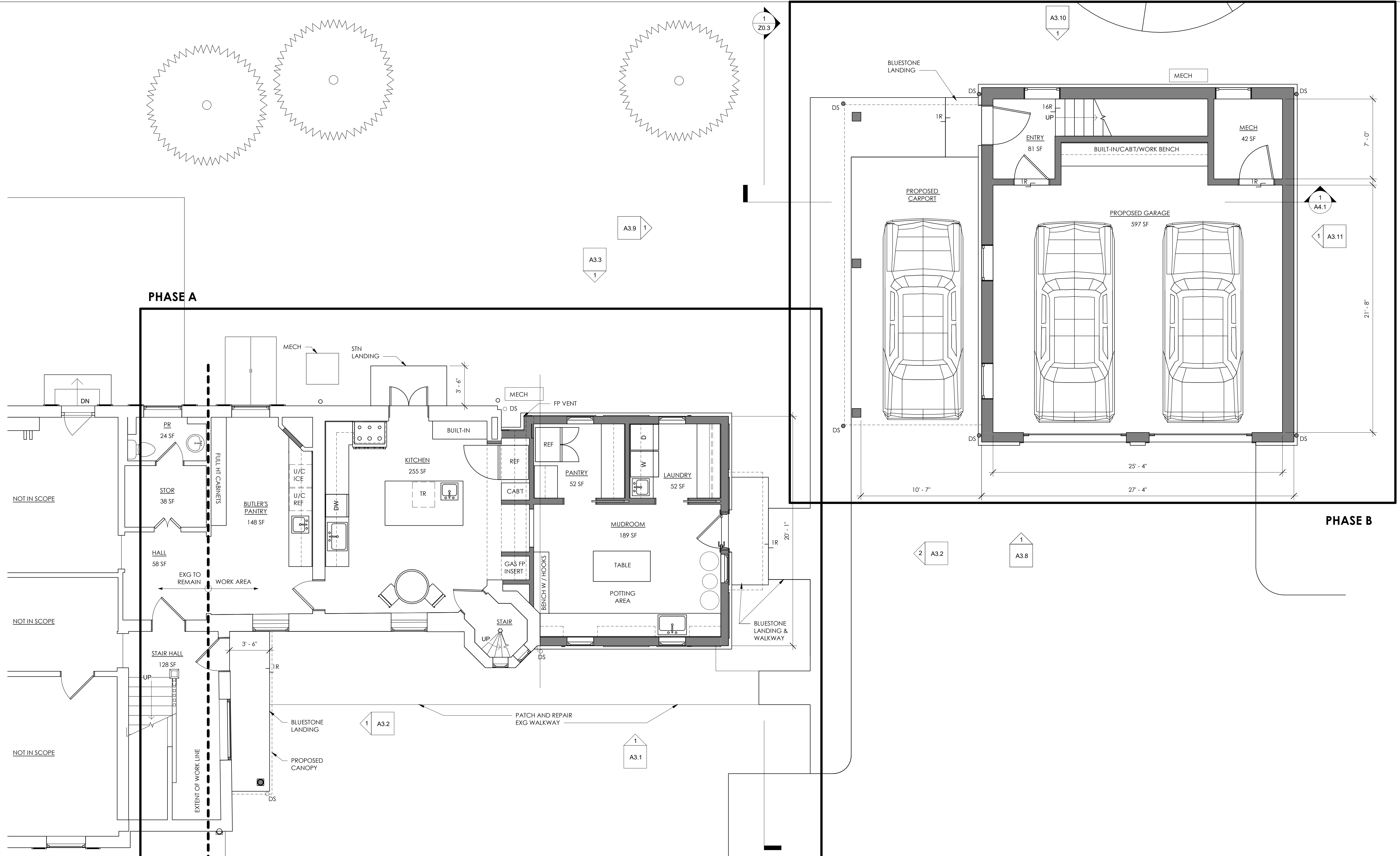
REVISION DATE:

No.	Date

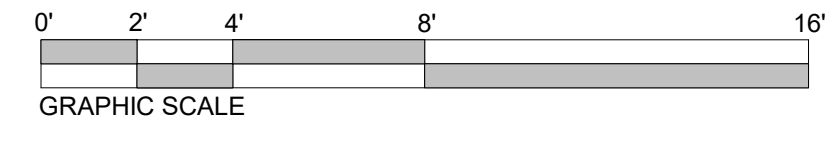
SHEET TITLE:  
**FIRST FLOOR PLAN**

SHEET NUMBER:

**A2.1**



1  
A2.1 FIRST FLOOR PLAN  
1/4" = 1'-0"



**GENERAL PLAN NOTES**

1. PROPOSED WALLS ARE TO ALIGN WITH EXISTING ADJACENT WALLS UNO.
2. CASED OPENINGS THAT APPEAR TO BE CENTERED BETWEEN ADJACENT PERPENDICULAR WALLS SHOULD BE CENTERED UNLESS NOTED OTHERWISE.
3. DOORS AND WINDOWS ARE TYPICALLY OFFSET TRIM WIDTH FROM ADJACENT PERPENDICULAR PARTITION AT INSIDE CORNER.
4. SOILSTACK LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS WITH HVAC AND PLUMBING SUBCONTRACTOR.

**FLOOR PLAN LEGEND**

- EXISTING WALL TO REMAIN
- NEW WALL
- - - UPPER CABINETS

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CONSULTANTS:

CONSULTANTS:

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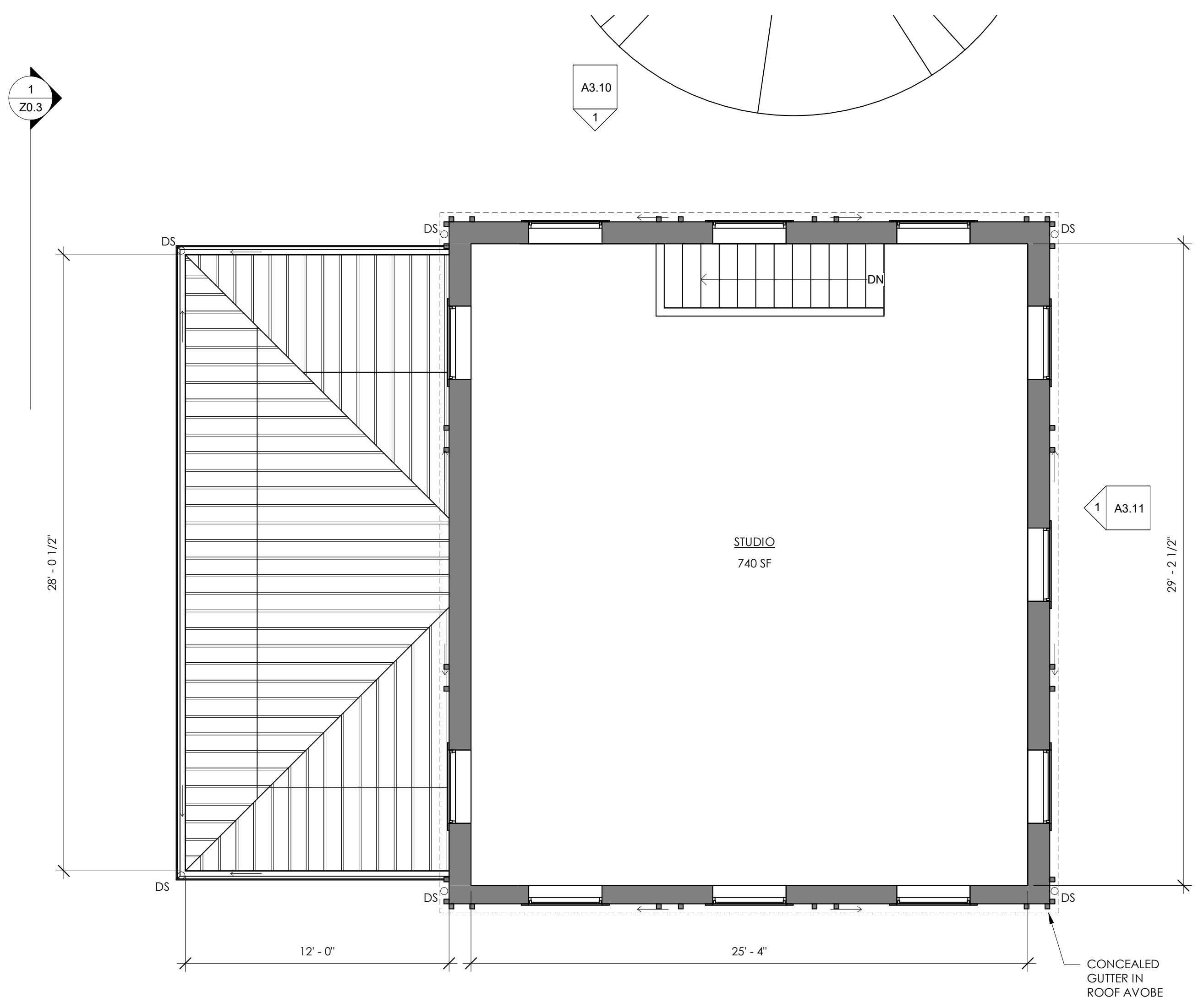
No.	Date

SHEET TITLE:

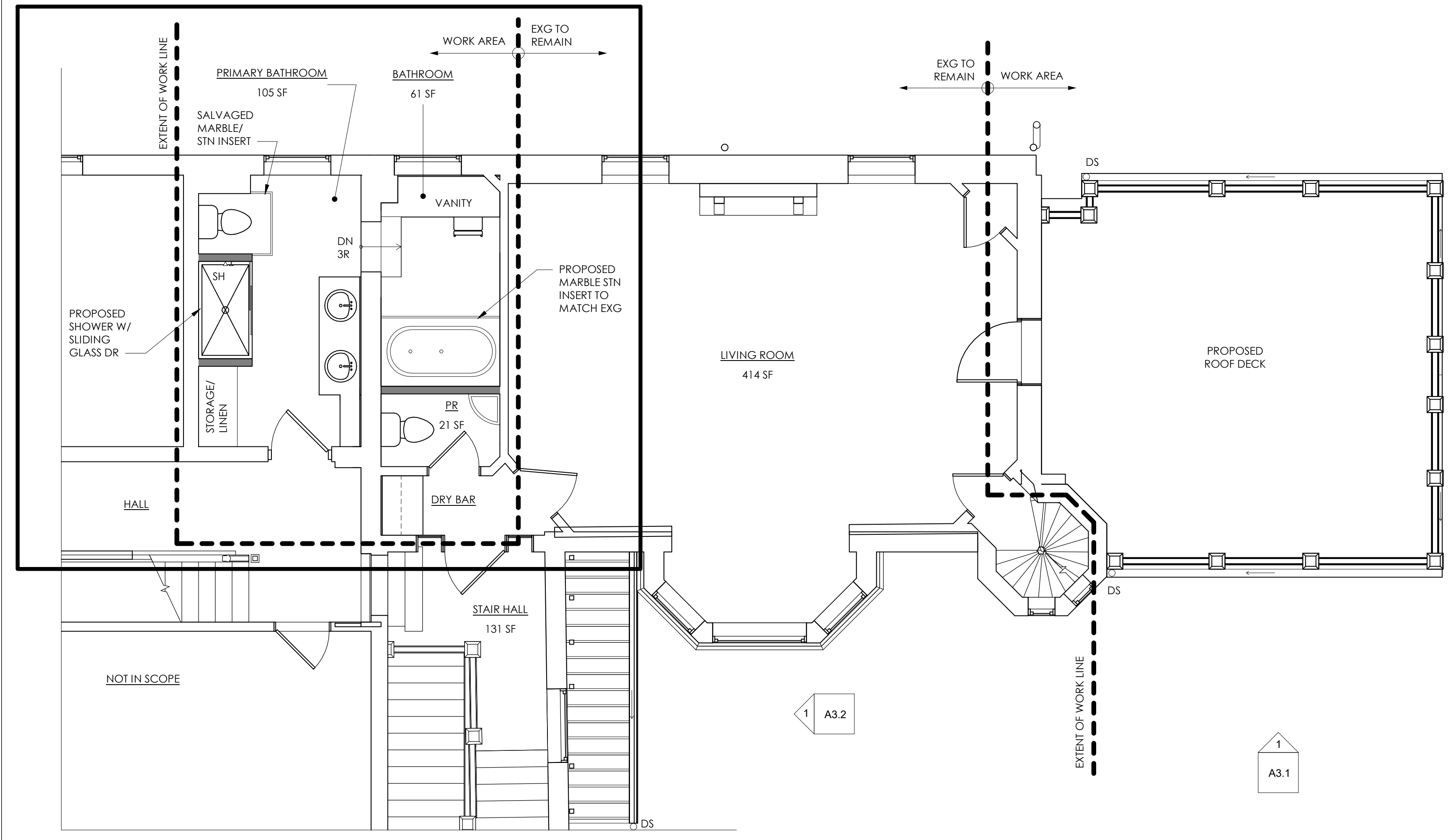
**SECOND FLOOR PLAN**

SHEET NUMBER:

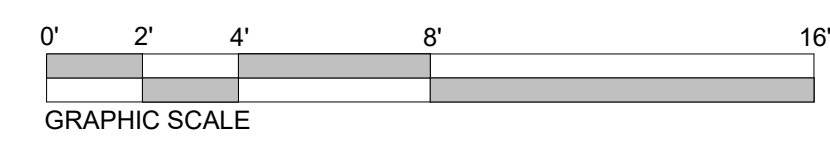
**A2.2**



**PHASE C - BY OTHERS**



1  
A2.2  
SECOND FLOOR PLAN - ALT  
1/4" = 1'-0"



**GENERAL PLAN NOTES**

1. PROPOSED WALLS ARE TO ALIGN WITH EXISTING ADJACENT WALLS UNO.
2. CASED OPENINGS THAT APPEAR TO BE CENTERED BETWEEN ADJACENT PERPENDICULAR WALLS SHOULD BE CENTERED UNLESS NOTED OTHERWISE.
3. DOORS AND WINDOWS ARE TYPICALLY OFFSET TRIM WIDTH FROM ADJACENT PERPENDICULAR PARTITION AT INSIDE CORNER.
4. SOILSTACK LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS WITH HVAC AND PLUMBING SUBCONTRACTOR.

**FLOOR PLAN LEGEND**

- EXISTING WALL TO REMAIN
- █ NEW WALL
- - - - - UPPER CABINETS



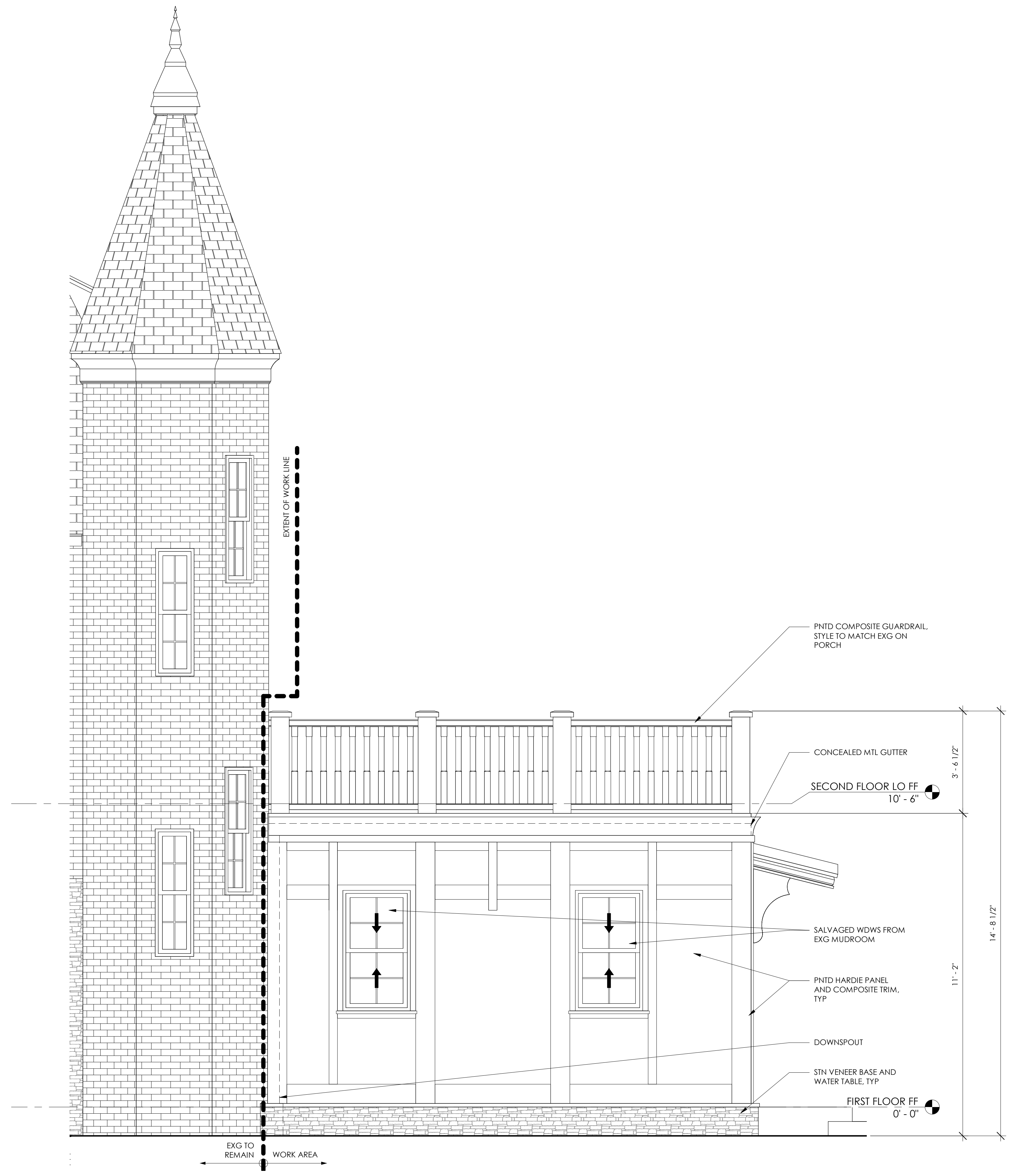
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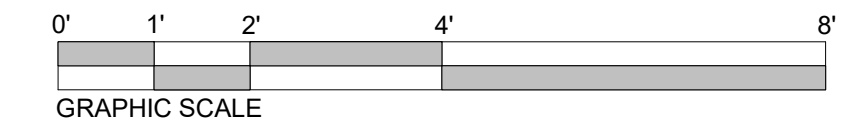
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 ADDITION ELEVATION SOUTH  
A3.1 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**  
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REVISION DATE:

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SHEET TITLE: **EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

**A3.1**

CLIENT: **Ryan & Kerri Farragut**  
rfarragut@usroofing.com | 610.633.7688

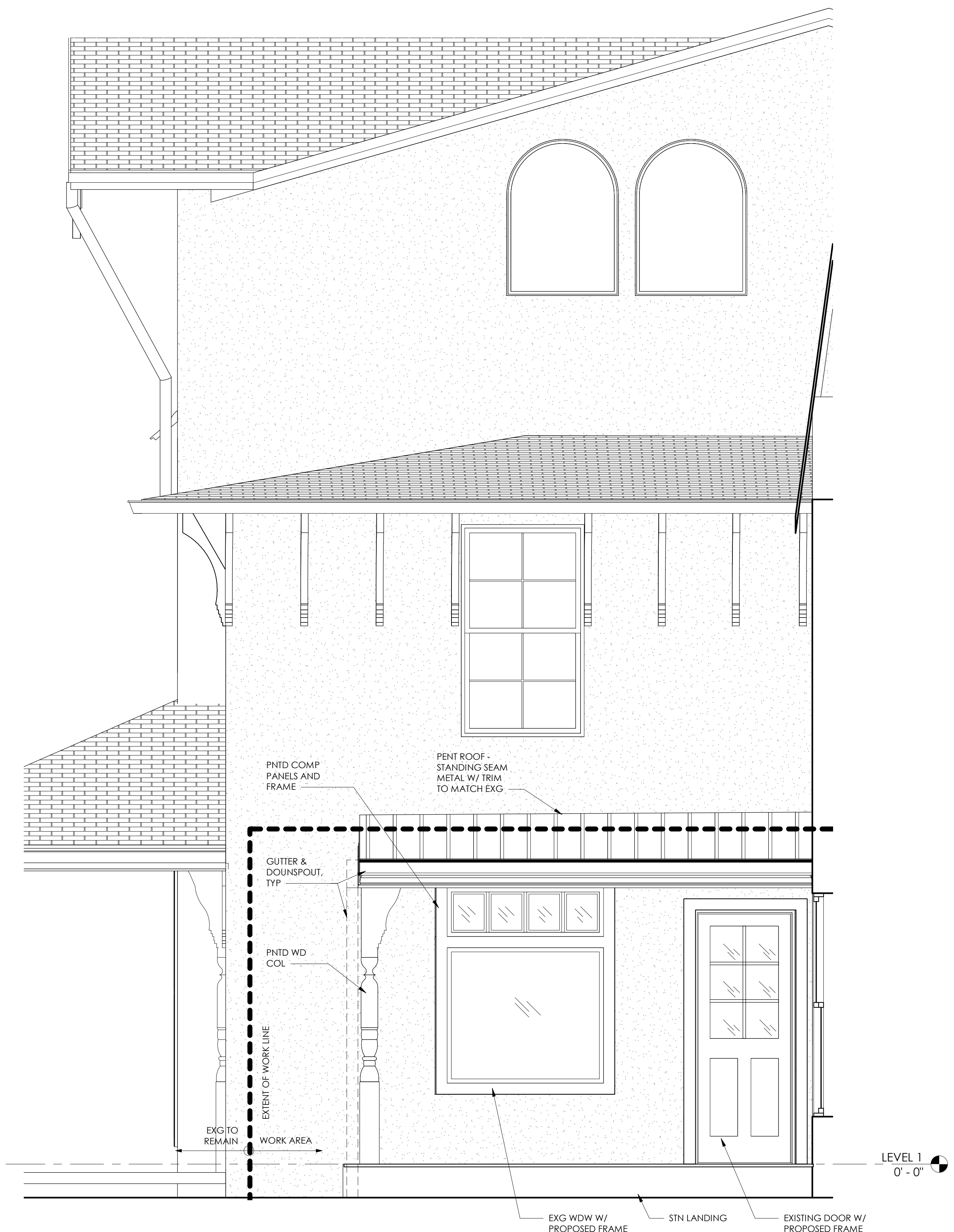
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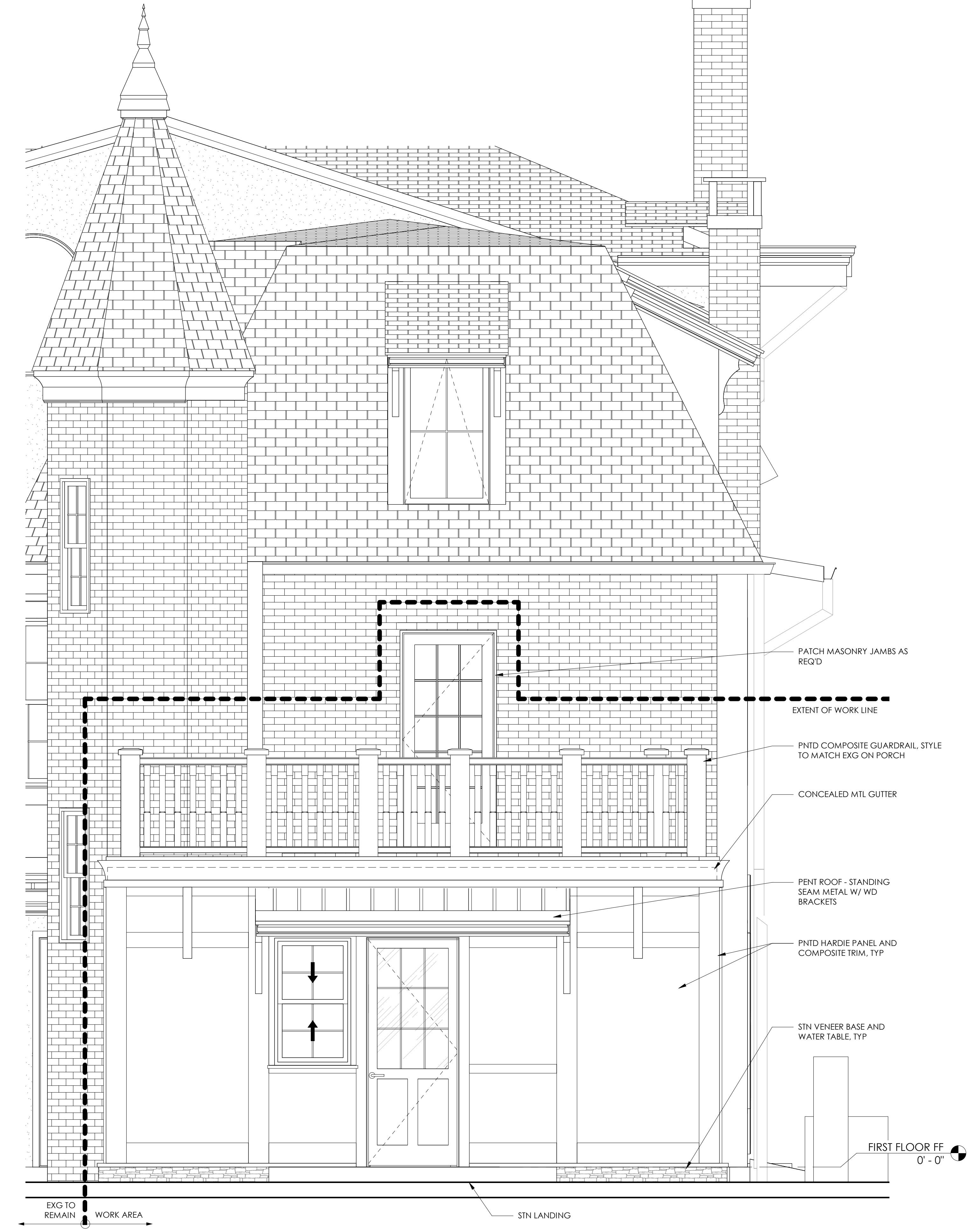
KEY PLAN:

CONSULTANTS:

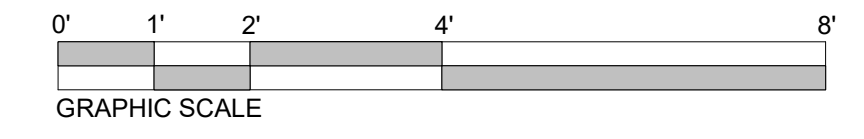
CONSULTANTS:



1 ENTRY ELEVATION  
1/2" = 1'-0"



2 ADDITION ELEVATION EAST  
1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**  
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REVISION DATE:

No.	Date

SHEET TITLE: **EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

**A3.2**

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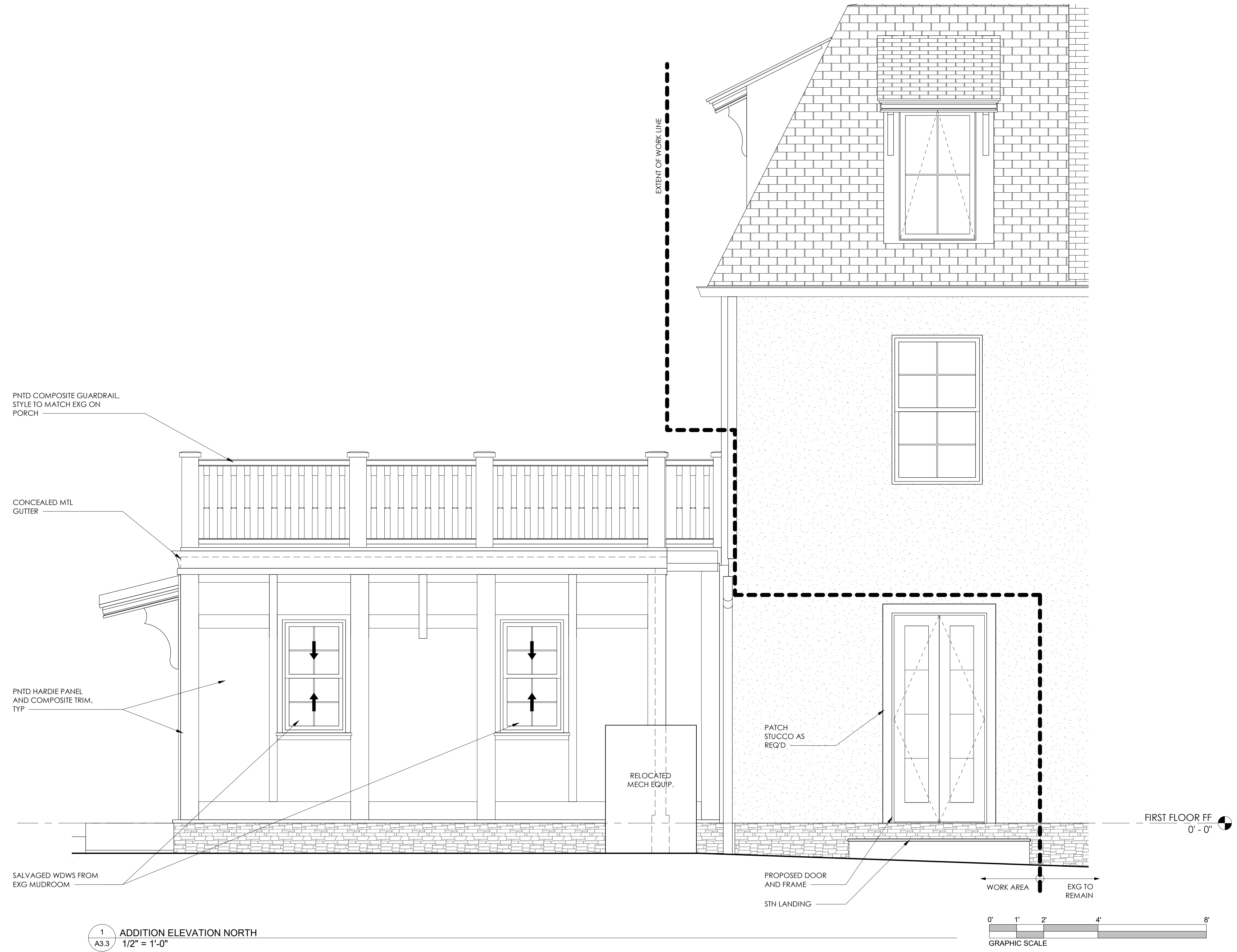
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KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 ADDITION ELEVATION NORTH  
A3.3 1/2" = 1'-0"

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SHEET TITLE: **EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

**A3.3**

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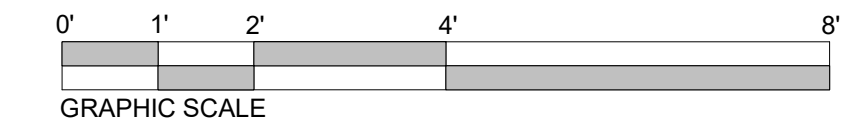
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION SOUTH - B  
A3.8 1/2" = 1'-0"



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SHEET TITLE: **GARAGE SCHEME B**

SHEET NUMBER:

**A3.8**

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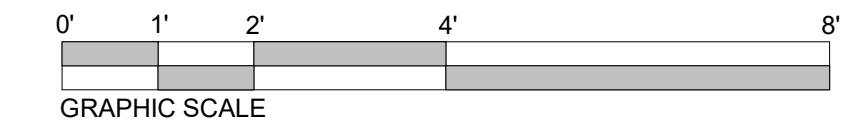
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION WEST - B  
A3.9 1/2" = 1'-0"



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SHEET TITLE: **GARAGE SCHEME B**

SHEET NUMBER:

**A3.9**

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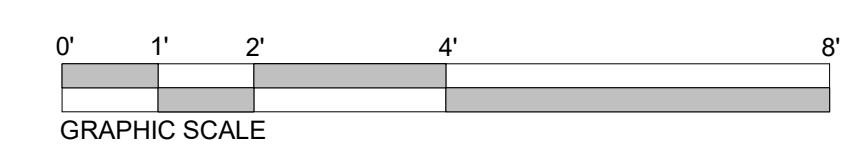
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION NORTH - B  
A3.10 1/2" = 1'-0"



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SHEET TITLE: **GARAGE SCHEME B**

SHEET NUMBER:

**A3.10**

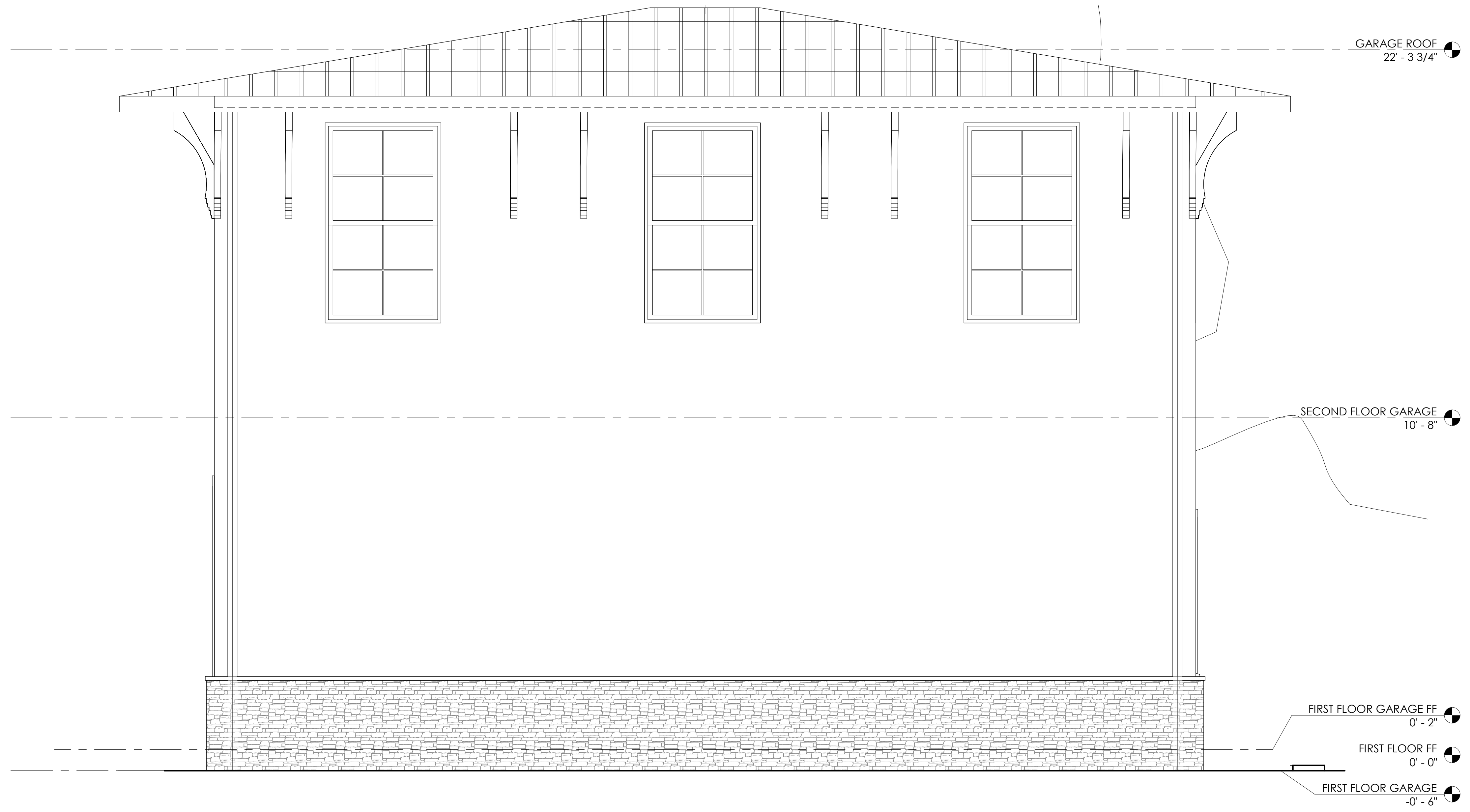
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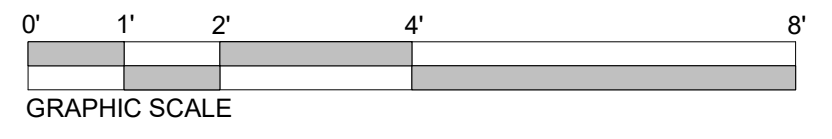
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION EAST - B  
A3.11 1/2" = 1'-0"



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SHEET TITLE: **GARAGE SCHEME B**

SHEET NUMBER:

**A3.11**