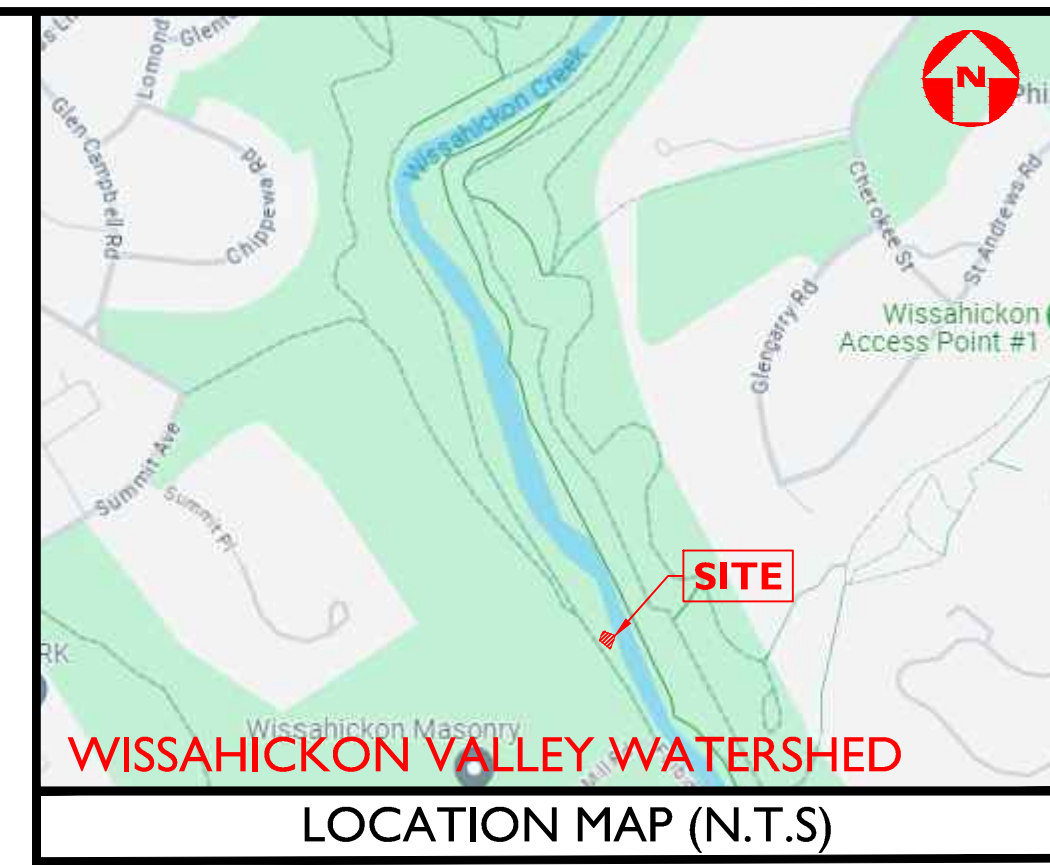
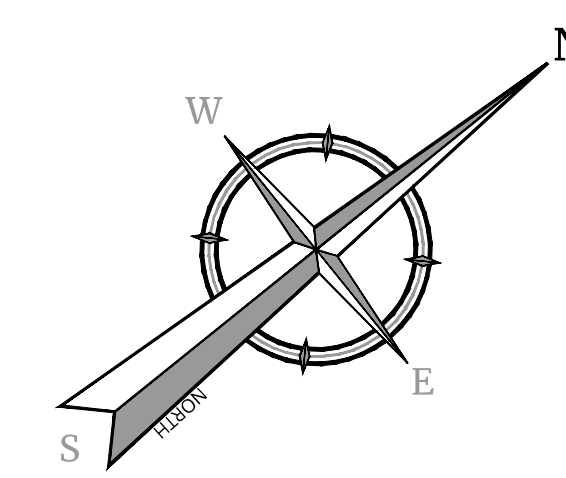


# WILLOW GROVE AVENUE

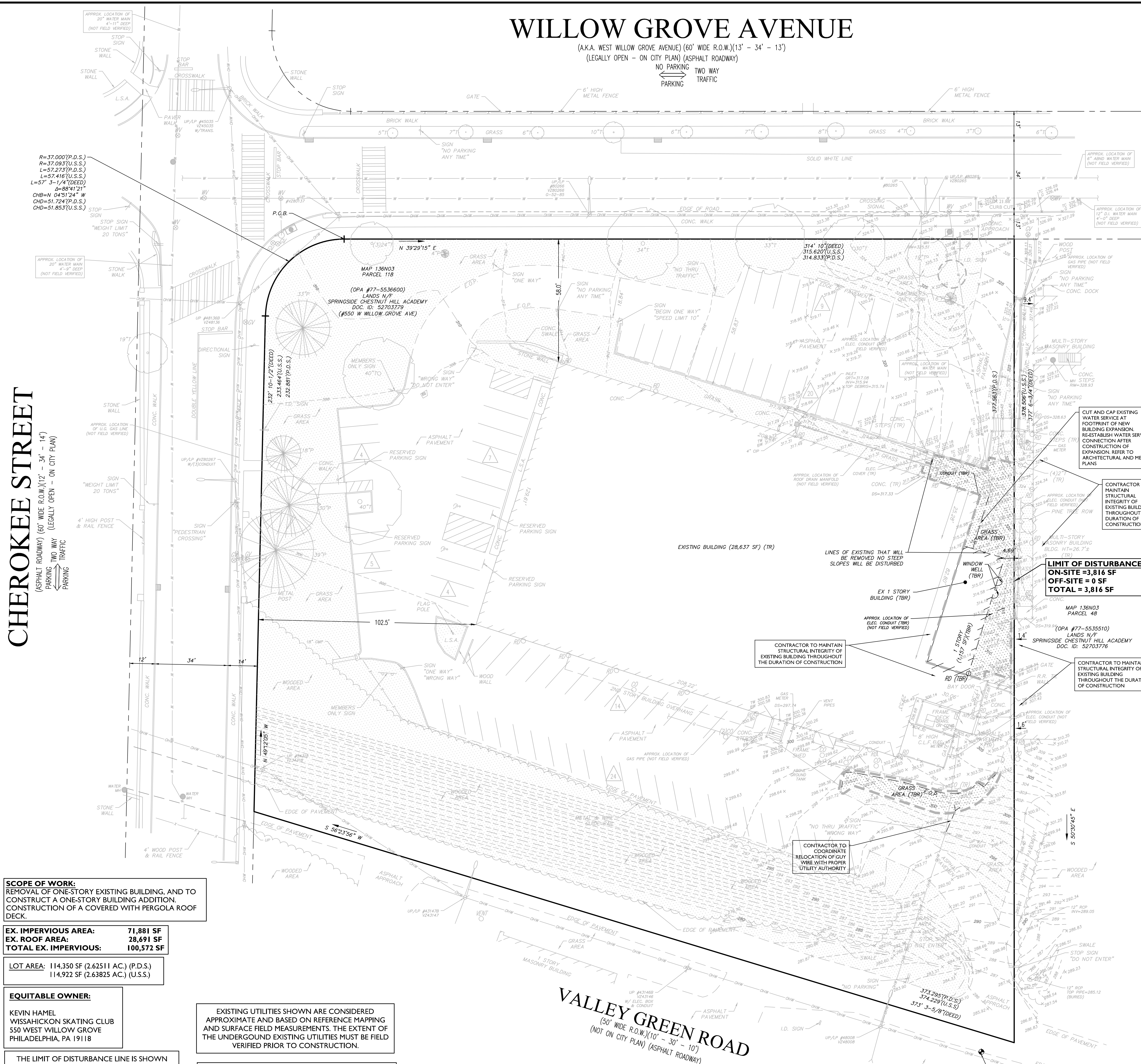
(A.K.A. WEST WILLOW GROVE AVENUE) (60' WIDE R.O.W.) (13' - 34' - 13')  
(LEGALLY OPEN - ON CITY PLAN) (ASPHALT ROADWAY)

NO PARKING  
PARKING  
TWO WAY TRAFFIC



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- EXISTING CONDITIONS/DEMOLITION NOTES:**
- THIS PLAN REFERENCE:
    - A. PLAN PREPARED BY: BLUE MARSH ASSOCIATES, INC. 551 EASTON ROAD, SUITE A WARRINGTON, PA 18976-2370
  - ENTITLED: "BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY" 8550 WILLOW GROVE AVENUE MAP 136N03, PARCEL 118 (OPA #77-5536600) CITY & COUNTY OF PHILADELPHIA, 22ND WARD COMMONWEALTH OF PENNSYLVANIA
  - DATED: 12/09/2023
  - PROJECT LOCATION: 550 WEST WILLOW GROVE PHILADELPHIA, PA 19118
  - EQUITABLE OWNER: KEVIN HAMEL WISSAHICKON SKATING CLUB, 550 WEST WILLOW GROVE, PHILADELPHIA, PA 19118
  - ZONING DISTRICT: RSD-1, RESIDENTIAL SINGLE-FAMILY DETACHED-1
  - OVERLAY DISTRICTS: OPEN SPACE AND NATURAL RESOURCES - STEEP SLOPE PROTECTION EDD EIGHT DISTRICT OVERLAY DISTRICT WWO WISSAHICKON WATERSHED OVERLAY DISTRICT
  - UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO ANY DEMOLITION, EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-242-1776 TO ORDER UTILITY MARK-OUTS AT THE SITE.
  - BUILDING AND SITE DEMOLITION MUST COMPLY WITH THE CITY OF PHILADELPHIA DEMOLITION PERMIT APPLICATION REQUIREMENTS. THE OWNER MUST APPLY AND OBTAIN A DEMOLITION PERMIT PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR MUST FIELD VERIFY EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO TELEPHONE, ELECTRIC, GAS, STORM SEWER, SANITARY SEWER, FIBER OPTIC, ETC. PRIOR TO CONSTRUCTION.
  - CONSTRUCTION FENCE TO BE INSTALLED AT THE DISCRETION OF THE CONSTRUCTION MANAGER. THE CONSTRUCTION FENCE MUST BE INSTALLED TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC PATTERNS AT ALL TIMES THROUGHOUT CONSTRUCTION.
  - ALL EXISTING SUBGRADE FEATURES (INCLUDING BUT NOT LIMITED TO BASEMENTS, FOUNDATIONS, UTILITIES, ETC.) MUST BE REMOVED AND BACKFILLED WITH STRUCTURAL MATERIAL APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER.
  - CONTRACTOR IS RESPONSIBLE TO DISCONNECT UTILITY SERVICE PRIOR TO DEMOLITION. CONTRACTOR IS RESPONSIBLE TO OBTAIN THE APPLICABLE DISCONNECTION PERMITS WITH THE UTILITY AND MUNICIPAL AUTHORITIES.
  - THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES. A UTILITY MARK OUT PROVIDED BY PENNSYLVANIA ONE CALL SYSTEM 811 OR 1-800-242-1776, TICKET NUMBER 20241351473 EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. THE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES FIELD VERIFIED BY THE PROPER UTILITY COMPANIES BEFORE ANY CONSTRUCTION BEGINS.
  - THE SITE IS LOCATED WITHIN ZONE X (UNSHADED) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR THE CITY OF PHILADELPHIA, PHILADELPHIA COUNTY, PA. PANEL BY OF 230 COMMUNITY PANEL NUMBER 420750078G, AND LAST REVISED JANUARY 17, 2007.
  - ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA DATUM. LOT DIMENSIONS & EASEMENT DIMENSIONS ARE BASED ON PHILADELPHIA DISTRICT STANDARDS UNLESS OTHERWISE NOTED. ALL OTHER DIMENSIONS ARE U.S. STANDARD.
  - THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY, AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
  - CONTRACTOR MUST OBTAIN A DEMOLITION PERMIT AND FOLLOW THE CITY OF PHILADELPHIA DEMOLITION REQUIREMENTS, AND SHALL FOLLOW CODE BULLETIN OF INFORMATION No. B-1302R (AND LATEST AMENDMENTS AND REVISIONS):
    - B. DEMOLITION SHALL BE PERFORMED BY HAND METHODS AND SHALL BE RESTRICTED TO HORIZONTAL OPERATIONS. THE DEMOLITION SHALL PROCEED FROM TOP TO BOTTOM. ONE FLOOR AT A TIME. DEMOLITION MATERIALS SHALL NOT BE PERMITTED ON SIDEWALKS OR CURBS OVERNIGHT.
    - C. MASONRY SHALL NOT BE PERMITTED TO FALL FROM THE FLOORS OF THE BUILDING IN SUCH MANNER AS TO EXCEED THE LOAD CAPACITY OF THE FLOORS.
    - D. NO WALL SECTION MORE THAN TWELVE FEET IN HEIGHT SHALL BE PERMITTED TO STAND ALONE WITHOUT LATERAL BRACING, UNLESS SUCH WALL WAS ORIGINALLY DESIGNED AND CONSTRUCTED TO STAND WITHOUT SUCH SUPPORT AND EXIST IN A STABLE CONDITION.
    - E. MASONRY WALLS SHALL BE DEMOLISHED IN SMALL SECTIONS. WALLS ABOVE THE ELEVATION OF THE FIRST FLOOR SHALL NOT BE "THROWN," BUT SHALL BE BARRED LOOSE AND DEMOLISHED PIECEWISE. ALL WALLS SHALL BE LEFT IN A STABLE CONDITION AT THE END OF THE WORK DAY.
    - F. STRUCTURAL MEMBERS ON ANY FLOOR SHALL NOT BE CUT OR REMOVED UNTIL ALL STORES ABOVE THE FLOOR HAVE BEEN DEMOLISHED AND REMOVED. EXCEPTIONS MAY BE MADE FOR PROVISIONS TO REMOVE DEBRIS OR INSTALL EQUIPMENT NECESSARY FOR SAFE DEMOLITION.
    - G. A MASONRY SAW CUT WILL BE REQUIRED AT THE INTERSECTION OF ANY ADJACENT BUILDING ALONG A COMMON FRONT WALL. THE CUT IS TO BE SMOOTH AND UNIFORM. DONE IN A WORKMANLIKE MANNER WITHOUT DISTURBANCE OF THE REMAINING ADJACENT WALL. IF THERE IS A VALID REASON WHY THE WALLS SHOULD NOT BE SAW CUT, THE CONTRACTOR IS TO SUBMIT HIS REASONS, IN WRITING TO THE DEPARTMENT.
    - H. DEMOLITIONS THAT INVOLVE TUNNEL ALLEY WALLS REQUIRE INVESTIGATION AND SUPPORT DETAILS FROM A PROFESSIONAL ENGINEER. IF LEFT IN PLACE, THE COVERING OVER THE TUNNEL ALLEY SHALL CONSIST OF A MINIMUM OF 1" EXTERIOR GRADE PLYWOOD COVERED BY TWO (2) LAYERS OF 9/16" MINERAL FELT ROLL ROOFING PAPER.
    - I. PRIOR TO THE COMMENCEMENT OF DEMOLITION OPERATIONS, ALL PIPES, TANKS, BOILERS, OR SIMILAR DEVICES CONTAINING FUEL AND LOCATED IN THE AREA AUTHORIZED TO BE DEMOLISHED BY THE PERMIT SHALL BE PURGED OF SUCH FUEL, FOLLOWED BY SUBMITTAL OF ANY REQUIRED CLOSURE REPORT TO THE PA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
    - J. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE PARTY WALLS AND SHALL PROVIDE ANY AND ALL SHORING AND BRACING REQUIRED FOR THEIR SUPPORT. ALL SHORING AND BRACING SHALL BE DONE BY MECHANICS EXPERIENCED IN THIS TYPE OF WORK, AND SHALL BE INSTALLED BASED UPON A PROFESSIONAL ENGINEER'S DESIGN AND DIRECTION.
    - K. IN REMOVING THE DEMOLITION MATERIALS, THE DEBRIS SHALL BE SPRINKLED WITH WATER TO CONTROL ANY DUST AND DIRT THAT MAY RESULT FROM THE USE OF CHUTES OR ANY OTHER DEMOLITION OPERATION.
    - L. APPLICATIONS FOR DEMOLITION OF A BUILDING EXCEEDING SIX (6) STORIES IN HEIGHT ABOVE GRADE SHALL BE ACCOMPANIED BY A WRITTEN PLAN FOR DUST CONTROL APPROVED BY THE AIR MANAGEMENT SERVICES DIVISION OF THE HEALTH DEPARTMENT. THE PLAN SHALL GIVE CONSIDERATION TO SUCH ITEMS AS THE HEIGHT OF THE BUILDING, THE FEASIBILITY OF USE OF MECHANICAL APPURTENANCES SUCH AS SPRINKLERS, WORKER SAFETY AND THE USE AND PROXIMITY OF ADJACENT BUILDINGS.
    - M. THE USE OF POWER-OPERATED WRECKING EQUIPMENT MAY BE APPROVED WHERE A BUILDING OR GROUP OF BUILDINGS IS BEING DEMOLISHED, AND IS DETACHED FROM OTHER STRUCTURES NOT TO BE DEMOLISHED AND THERE ARE NO OCCUPIED STRUCTURES WITHIN THE SAFETY ZONE, WHERE A GROUP OF BUILDINGS IS SCHEDULED FOR DEMOLITION AND IS ATTACHED TO A STRUCTURE NOT SCHEDULED FOR DEMOLITION. POWER METHODS MAY BE PERMITTED FOR THE BUILDING EXCEPT FOR THE BUILDING IMMEDIATELY ADJOINING THE STRUCTURE TO BE DEMOLISHED. THIS BUILDING SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROVISIONS STATED ABOVE AND IN COMPLIANCE WITH THE SAFETY ZONE REQUIREMENTS ESTABLISHED IN TITLE 4, SUBCODE B, SECTION 3303.8.1 OF THE PHILADELPHIA CODE.
  - INITIAL INSPECTION: THE CONTRACTOR IS REQUIRED TO NOTIFY LAI A MINIMUM OF 48 HOURS PRIOR TO THE START OF WORK TO SCHEDULE THE INITIAL INSPECTION. THE CONTRACTOR SHALL PREPARE AND REVIEW THE SITE SAFETY DEMOLITION PLAN WITH THE INSPECTOR ON SITE PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL PROVIDE THE INSPECTOR WITH PROOF OF ALL UTILITY DISCONNECTIONS, RESTRICTION PROTECTION REQUIRED BY THE CODE MUST BE IN PLACE BEFORE THE START OF WORK. IF NOT IN PLACE AND WORK HAS STARTED, LAI WILL ISSUE A STOP WORK ORDER WHICH SHALL REMAIN IN PLACE UNTIL THE PEDESTRIAN PROTECTION IS APPROVED.
  - STREETS DEPARTMENT GENERAL CONFORMANCE: ALL VALVES, VENTS, MANHOLES, INLETS, AND OTHER UTILITY STRUCTURES HAVE BEEN FIELD VERIFIED BY A PA LICENSED SURVEYOR, AND WILL NOT CONFLICT WITH PROPOSED CURB ALIGNMENTS.
  - EXISTING INLETS IN THE RIGHT-OF-WAY TO BE MAINTAINED AND PROTECTED.
  - EXISTING PARTY WALLS MAY ENCRoACH ONTO THE SUBJECT PROPERTY. THESE PARTY WALLS SHALL REMAIN UNDISTURBED AND ACT AS AN ENCROACHMENT EASEMENT ON THE SUBJECT PROPERTY PROPERTY.
  - THE BENCHMARK SHOWN IS FOR PERMITTING PURPOSES ONLY AND MUST BE RESET PRIOR TO ANY STAKE-OUT FOR CONSTRUCTION.

**SCOPE OF WORK:**  
REMOVAL OF ONE-STORY EXISTING BUILDING, AND TO CONSTRUCT A ONE-STORY BUILDING ADDITION, CONSTRUCTION OF A COVERED WITH PERGOLA ROOF DECK.

**EX. IMPERVIOUS AREA:** 71,881 SF  
**EX. ROOF AREA:** 28,691 SF  
**TOTAL EX. IMPERVIOUS:** 100,572 SF

**LOT AREA:** 114,350 SF (2.6251 AC.) (P.D.S.)  
114,922 SF (2.63825 AC.) (U.S.S.)

**EQUITABLE OWNER:**  
KEVIN HAMEL  
WISSAHICKON SKATING CLUB  
550 WEST WILLOW GROVE  
PHILADELPHIA, PA 19118

THE LIMIT OF DISTURBANCE LINE IS SHOWN THICK FOR GRAPHICAL PURPOSES ONLY. IT IS THE INTENT OF THE PROJECT SCOPE TO DISTURB WITHIN THE LIMITS SHOWN.

ALL EXISTING FEATURES WITHIN THE LIMIT OF DISTURBANCE TO BE REMOVED UNLESS OTHERWISE NOTED; TRAFFIC STREET LIGHTS, AND OTHER UTILITY MAINS SHALL REMAIN INCLUDING, BUT NOT LIMITED TO STORM SEWERS, SANITARY SEWERS, ELECTRIC, TELEPHONE, AND GAS, INCLUDING ASSOCIATED MANHOLES, INLETS, AND VALVES, ETC.

CONSTRUCTION FENCE TO BE INSTALLED AT THE DISCRETION OF THE CONSTRUCTION MANAGER. THE CONSTRUCTION FENCE MUST BE INSTALLED TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN TRAFFIC PATTERNS AT ALL TIMES THROUGHOUT CONSTRUCTION.

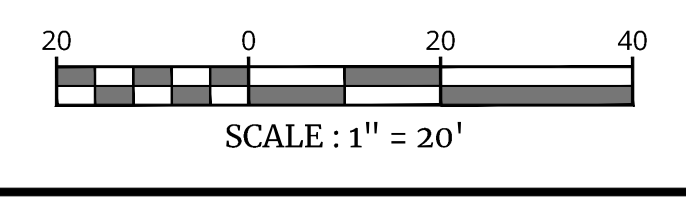
EXISTING UTILITIES SHOWN ARE CONSIDERED APPROXIMATE AND BASED ON REFERENCE MAPPING AND SURFACE FIELD MEASUREMENTS. THE EXTENT OF THE UNDERGROUND EXISTING UTILITIES MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

ALL EXISTING UTILITY LATERALS ARE TO BE DISCONTINUED PRIOR TO THE START OF DEMOLITION. FURTHER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES PRIOR TO DISCONNECTING AND DEMOLITION OF SAID UTILITIES

ALL EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED OR PLUGGED PER UTILITY COMPANY REQUIREMENTS.

## VALLEY GREEN ROAD

(50' WIDE R.O.W.) (10' - 30' - 10')  
(NOT ON CITY PLAN) (ASPHALT ROADWAY)



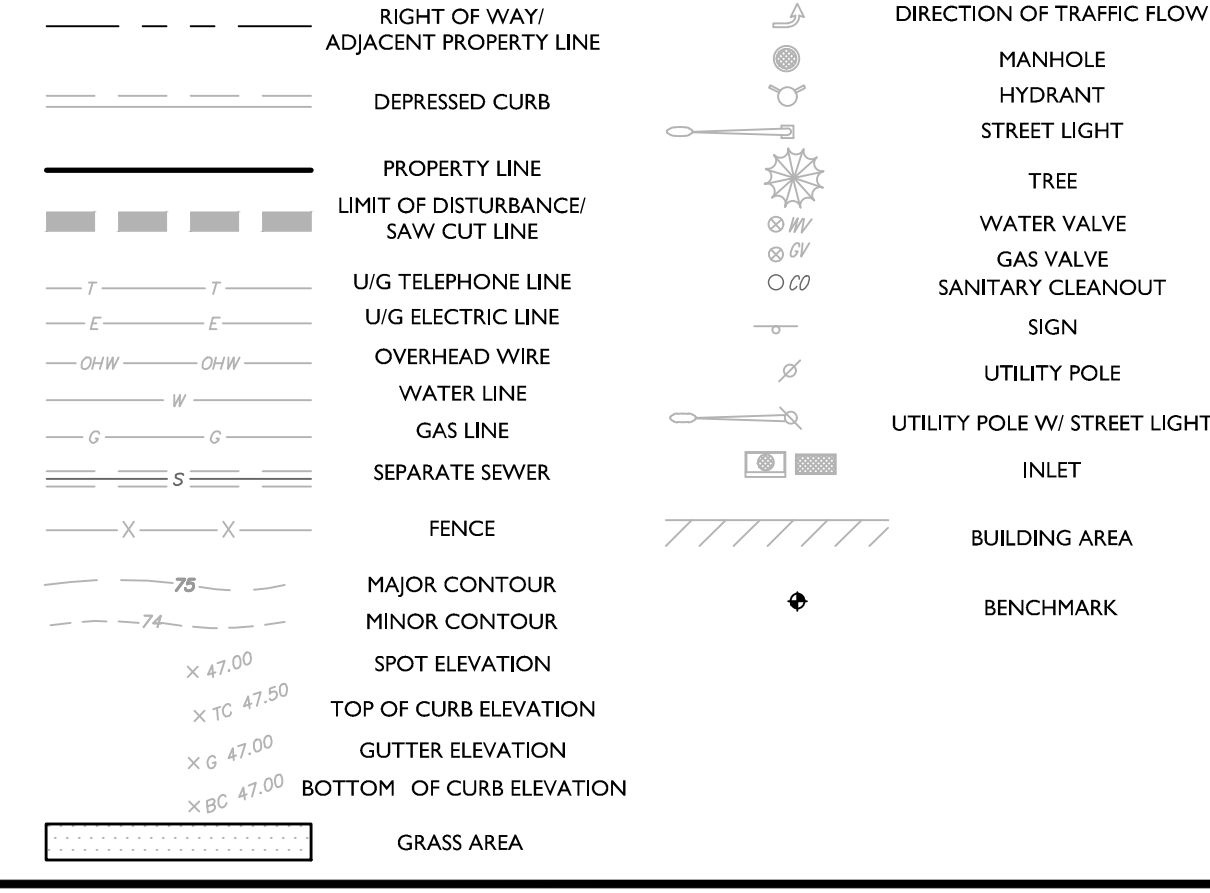
### INDEX OF SHEETS

- EXISTING CONDITIONS & DEMOLITION PLAN
- SITE PLAN
- GRADING & UTILITY PLAN
- ENLARGED GRADING & UTILITY PLAN
- SOIL EROSION & SEDIMENT CONTROL PLAN
- SOIL EROSION & SEDIMENT CONTROL DETAILS
- CONSTRUCTION DETAILS

### ABBREVIATIONS

- PHILADELPHIA DISTRICT STANDARD
- P.D.S. = PHILADELPHIA DISTRICT STANDARD
  - U.S.S. = UNITED STATES STANDARD
  - FF = FENCE
  - UV = UNKNOWN VALVE
  - DP = DEPRESSED
  - CL = CENTER LINE
  - D.C. = DEPRESSED CURB
  - BC = BOTTOM OF CURB
  - TC = TOP OF CURB
  - UP = UTILITY POLE
  - LI = LIGHT POLE
  - TR = TO BE REMOVED
  - PH = MANHOLE
  - BL = BOLLARD
  - GR = GRATE
  - TR = TO REMAIN
  - TW = TOP OF WALL
  - BW = BOTTOM OF WALL
  - CP = CITY PLAN

### LEGEND



**NOT APPROVED FOR CONSTRUCTION**

Rhett N. Chiliberti  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PD07313  
COLLIERS ENGINEERING & DESIGN, INC.

DESIGN DEVELOPMENT DOCUMENTS  
FOR  
**WISSAHICKON SKATING CLUB**

PROJECT TYPE:  
PROPOSED BUILDING  
ADDITION & PROPOSED  
ROOF DECK DEVELOPMENT

LOCATION:  
550 WEST WILLOW GROVE,  
PHILADELPHIA, PA, 19118

PHILADELPHIA  
2 Penn Center, Suite 700  
1500 JFK Boulevard  
Philadelphia, PA 19102  
Phone: 215.861.9021  
COLLIERS ENGINEERING & DESIGN, INC. IS AN  
EQUALLY OPPORTUNE EMPLOYER

Colliers  
Engineering & Design

DATE: 07/30/24  
PROJECT NUMBER: 23012482A  
DRAWN BY: MPO  
CHECKED BY: MAB  
C.LAY1

SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER:  
1 of 7

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.