

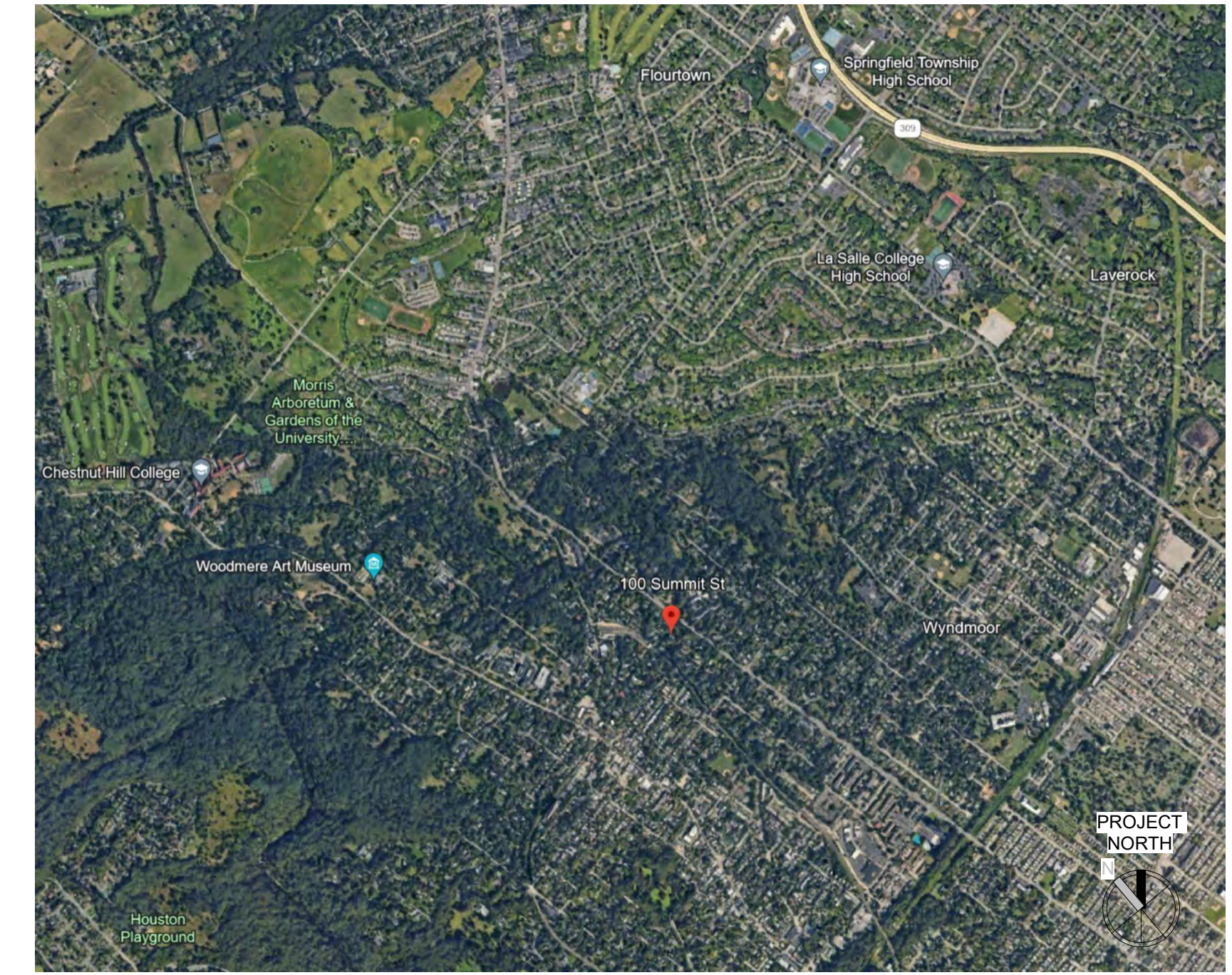
# FARRAGUT RESIDENCE

100 Summit Street, Philadelphia, PA, USA

OWNER  
Ryan & Kerri Farragut

100 Summit Street  
Philadelphia, PA

ARCHITECT  
**KRIEGER + ASSOCIATES ARCHITECTS**  
14 WEST HIGHLAND AVENUE  
PHILADELPHIA, PA 19118



SITE LOCATION MAP

SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC, expressly warrants its general use copyright and other property rights in these plans. These plans are not to be reproduced, copied or otherwise used without the written consent of Krieger + Associates, Architects, Inc. © 2024 Krieger + Associates, Architects Inc.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

## GENERAL DRAWING NOTES

- IN CASE OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS GOVERN.
- SECTIONS AND DETAILS SHOWN, WHILE DRAWN FOR SPECIFIC LOCATIONS ARE INTENDED TO ESTABLISH THE GENERAL TYPES OF DETAILS TO BE USED THROUGHOUT. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES, SHALL BE REPEATED.
- CONTRACTOR TO VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM DRAWINGS. PROPOSED REMEDIES, IF REQUIRING ADDITIONAL WORK, ARE TO BE SUBMITTED FOR APPROVAL IN THE FORM OF WRITTEN CHANGE ORDERS TO THE OWNER IN ACCORDANCE WITH THE TERMS OF THE CONTRACT BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ITEMS NOT NOTED AS EXISTING ARE PROPOSED. DOORS AND WINDOWS NOT NUMBERED ON THE FLOOR PLANS OR ELEVATIONS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO EXISTING SURFACES ARE TO FINISH, UNLESS NOTED OTHERWISE.
- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS ARE INDICATED ON ARCHITECTURAL DRAWINGS FOR COORDINATION ONLY.
- THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), AND APPLICABLE LOCAL REGULATIONS.

## SPECIAL INSPECTION NOTES

- SPECIAL INSPECTIONS ARE REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR THIS PROJECT. SEE STATEMENT OF SPECIAL INSPECTIONS SCHEDULE FOR A LIST OF THE REQUIRED INSPECTIONS, AND FREQUENCY BY WHICH INSPECTIONS ARE TO BE CONDUCTED.
- IT IS THE OWNER'S RESPONSIBILITY TO RETAIN THE SERVICES OF A THIRD-PARTY SPECIAL INSPECTOR TO PERFORM SPECIAL INSPECTIONS. THE INSPECTION AGENCY MAY NOT BE THE DESIGN ARCHITECT OR STRUCTURAL ENGINEER OF RECORD TO AVOID CONFLICTS OF INTEREST. THE SPECIAL INSPECTION AGENCY MUST BE AS ACCREDITED AND PRE-QUALIFIED BY THE CITY OF PHILADELPHIA TO PERFORM THE REQUIRED INSPECTIONS.
- THE STRUCTURAL ENGINEER OF RECORD IS TO BE THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF SPECIAL INSPECTIONS (DPRC-SI). THE DPRC-SI IS RESPONSIBLE FOR THE FOLLOWING:
  - IDENTIFYING REQUIRED SPECIAL INSPECTIONS
  - SUBMITTING STATEMENT OF SPECIAL INSPECTIONS
  - EVALUATING AND SELECTING A SPECIAL INSPECTIONS AGENCY
  - REPORTING NON-COMPLIANCE ISSUES TO THE CONTRACTOR AND TO L&I FOR ISSUES THAT ARE HAZARDOUS TO LIFE, SAFETY OR HEALTH.
  - REVIEWING AND APPROVING SPECIAL INSPECTIONS PROGRESS REPORTS AND FINAL REPORTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE SPECIAL INSPECTIONS, AND TO MAINTAIN CONTRACT DOCUMENTS ON-SITE FOR USE BY THE SPECIAL INSPECTOR. 48 HOURS NOTICE IS REQUIRED FOR FIELD INSPECTIONS, AND 7 DAYS NOTICE IS REQUIRED FOR OFF-SITE INSPECTIONS.
- A PRE-CONSTRUCTION MEETING IS RECOMMENDED TO DISCUSS SPECIAL INSPECTIONS. OWNER, DPRC-SI, ARCHITECT AND SPECIAL INSPECTOR TO ATTEND.

## MATERIAL LEGEND

FOAM INSULATION	BATT INSULATION	RIGID INSULATION (SMALL SCALE)
RIGID INSULATION (LARGE SCALE)	BRICK	CONCRETE
CONCRETE MASONRY	COMPOSITE MATL / FIBER CEMENT	BLOCKING
ROUGH WOOD	FINISH WOOD	LAMINATED VENEER LUMBER (LVL) / PARALLEL STRAND LUMBER (PSL)
SHEATHING (SMALL SCALE)	SHEATHING (LARGE SCALE)	MDO/MDF
VENT SPACE / DRAINAGE PLANE	STONE	TILE
GRAVEL	EARTH	

## SYMBOL LEGEND

	WALL TYPE
	REVISION
	CENTERLINE
	WINDOW TYPE
	DOOR TYPE
<b>Room name</b>	ROOM NAME AND/OR NUMBER
	EXTERIOR ELEVATION
	BUILDING/WALL SECTION
	DETAIL
	ENLARGED DETAIL
	INTERIOR ELEVATION
	SLOPE
	VERTICAL ELEVATION
	EXG TOPOGRAPHIC ELEVATION

## ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	FE(C)	FIRE EXTINGUISHER (CABINET)	PHI(D)	PAINTED PAIR
ADDN	ADDITIONAL	FEN	FENCE	PSL	PARALLEL STRAND LUMBER
ADJ	ADJACENT	FF	FILTER FABRIC	PT	PRESSURE TREATED
ADJUST	ADJUSTABLE	FG	FIBERGLASS	R	RISER
AFF	ABOVE FINISH FLOOR	FLR	FLOOR	RAD	RADIUS
AL	ALUMINUM	FLUOR	FLUORESCENT	RAG	RETURN AIR GRILL
ALT	ALTERNATE	FP	FIREPLACE	RCP	REFLECTED CEILING PLAN
AP	ACCESS PANEL	FT	FOOT	REF	REFRIGERATOR
APP	APPLIANCE	FTG	FOOTING	RECP	RECEPTACLE
APPROX	APPROXIMATE	FX	FIXED	REF	REFRIGERATOR
AWN	AWNING	GA	GAUGE	REQD	REQUIRED
B/O	BOTTOM OF	GALV	GALVANIZED	RES	RESILIENT
BC	BRICK COURSE(S)	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
BD	BOARD	GWB	GYPSPUM WALL BOARD	S&R	SHELF & ROD
BDBD	BEAD BOARD	H	HIGH	SAG	SUPPLY AIR GRILL
BM	BEAM	HB	HOSEBIB	SC	SOLID CORE
BOD	BASIS OF DESIGN	HDWD	HARDWOOD	SCHED	SCHEDULE
BR	BRUSHED	HM	HOLLOW METAL	SCR	SCREEN
BSMT	BASEMENT	HOP	HOPPER	SECT	SECTION
CANT	CANTILEVER(ED)	HORIZ	HORIZONTAL	SH	SINGLE HUNG
CB	CEMENTITIOUS BACKER BOARD	HT	HEIGHT	SIM	SIMILAR
CBNT	CABINET	HTR	HEATER	SL	SLIDER
CI	CAST IRON	INCAN	INCANDESCENT	SSTL	STAINLESS STEEL
CJ	CONTROL JOINT	INSUL	INSULATION	ST	STUCCO
CL	CENTER LINE	INT	INTERIOR	STD	STANDARD
CLNG	CEILING	JT	JOINT	STL	STEEL
CLR	CLEAR	L	LOW	STN	STONE
CMU	CONCRETE MASONRY UNIT	LIN	LINOLEUM	STR	STRUCTURAL
COL	COLUMN	LKG	LOOKING	T	TREAD
COMP	COMPOSITE	LT	LIGHT	T&G	TONGUE & GROOVE
CONC	CONCRETE	LV	LOW VOLTAGE	T/O	TOP OF
CONT	CONTINUOUS	LVL	LAMINATED VENEER LUMBER	TBD	TO BE DETERMINED
CONTR	CONTRACTOR	MATL	MATERIAL	TE	TEMPERED
CPT	CARPET	MAX	MAXIMUM	TYP	TYPICAL
CSMT	CASEMENT	MDO	MEDIUM DENSITY OVERLAY	U/C	UNDER CABINET
CT	CERAMIC TILE	MFR	MANUFACTURER	U/S	UNDERSIDE
DBL	DOUBLE	MIN	MINIMUM	UNF	UNFINISHED
DED	DEDICATED	MO	MASONRY	UNO	UNLESS NOTED OTHERWISE
DEMO	DEMOLITION	MTD	MOUNTED	VCB	VINYL COVE BASE
DH	DOUBLE HUNG	MTL	METAL	VCT	VINYL COMPOSITION TILE
DIA	DIAMETER	NA	NOT APPLICABLE	VERT	VERTICAL
DIMS	DIMENSIONS	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
DN	DOWN	NTS	NOT TO SCALE	VIR	VENT THRU ROOF
DS	DOWNSPOUT	O/A	OVERALL	W/	WITH
DTL(S)	DETAIL(S)	O/C	ON CENTER	WD	WOOD
DWG(S)	DRAWING(S)	OPER	OPERABLE	WDW	WINDOW
EA	EACH	OPNG	OPENING	WG	WIRE GLASS
EJ	EXPANSION JOINT	OPP	OPPOSITE	WH	WATER HEATER
ELEC	ELECTRIC	PAF	POWDER ACTUATED FASTENER	WP	WALL PAPER
ENG	ENGINEERED	PLAM	PLASTIC LAMINATE	WWF	WELDED WIRE FABRIC
EQ	EQUAL EQUIVALENT	PLST	PLASTER		
EWC	ELECTRIC WATER COOLER	PLYWD	PLYWOOD		
EXG	EXISTING				
EXP	EXPANSION				
EXT	EXTERIOR				
FD	FLOOR DRAIN				
FDN	FOUNDATION				

## SHEET LIST

SHEET NUMBER	SHEET NAME	PRELIMINARY PRICING SET   03.28.24	ISSUE FOR ZONING PERMIT   06.13.24	PHC APPLICATION   01.10.25
0-General				
G0.1	COVER SHEET	•	•	•
G0.2	PRELIMINARY PRICING SCHEDULE	•	•	•
Z0.1	SITE PLAN	•	•	•
1-Architecture				
A1.1	DEMOLITION PLANS & SCHEDULES	•	•	•
A2.1	FIRST FLOOR PLAN	•	•	•
A2.2	SECOND FLOOR PLAN	•	•	•
A3.1	EXTERIOR ELEVATION - ADDITION	•	•	•
A3.2	EXTERIOR ELEVATION - ADDITION	•	•	•
A3.3	EXTERIOR ELEVATION - ADDITION	•	•	•
A3.4	EXTERIOR ELEVATION - GARAGE	•	•	•
A3.5	EXTERIOR ELEVATION - GARAGE	•	•	•
A3.6	EXTERIOR ELEVATION - GARAGE	•	•	•
A3.7	EXTERIOR ELEVATION - GARAGE	•	•	•
A3.8	BUILDING SECTION - GARAGE	•	•	•

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **JANUARY 10, 2025**

STATUS: **PHC APPLICATION**

REVISION DATE:

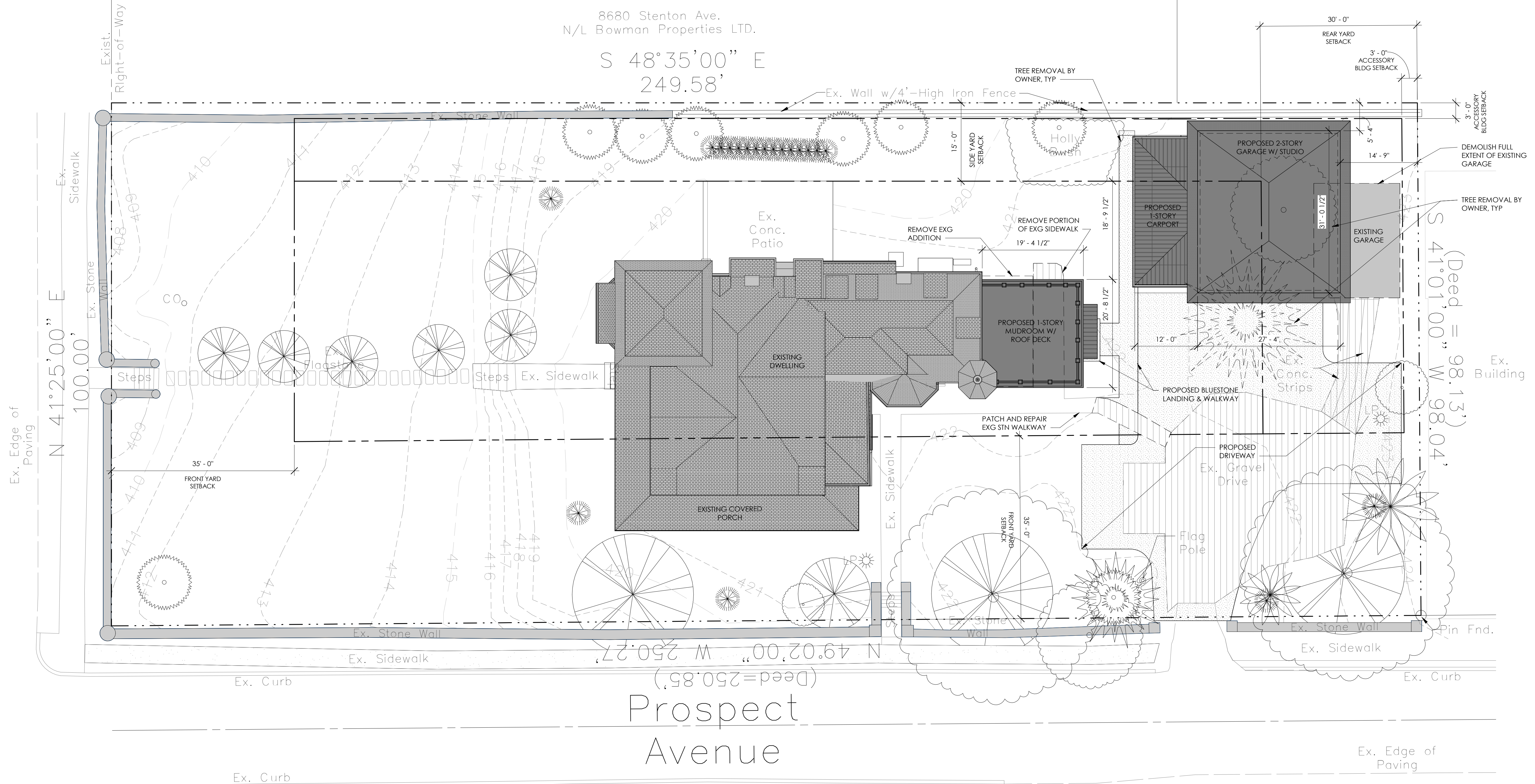
No.	Date

SHEET TITLE: **COVER SHEET**

SHEET NUMBER:

**G0.1**





8680 Stenton Ave.  
N/L Bowman Properties LTD.

S 48°35'00" E  
249.58'

N 41°25'00" E  
100.00'

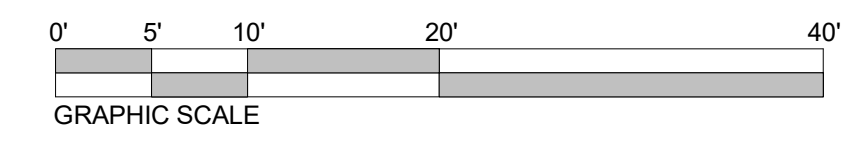
S 41°01'00" W 98.13'  
W 98.04'

N 49°02'00" W 250.27'  
(Deed = 250.85')

Prospect Avenue

Zoning Code				
CODE PHILADELPHIA CODE - TITLE 14: ZONING AND PLANNING				
Area Data				
Item	Existing	Removed	Proposed	Total
LOT AREA	24,500 SF	NO CHANGE	NO CHANGE	24,500 SF
DWELLING ROOF AREA	2,800 SF	200 SF	1,600 SF	4,200 SF
ACCESSORY ROOF AREA	361 SF	361 SF	1,400 SF	1,760 SF
TOTAL BUILDING ROOF AREA	3,161 SF	561 SF	3,000 SF	4,960 SF
UNCOVERED HARDSURFACE AREA	2,400 SF	1,100 SF	2,800 SF	4,100 SF
TOTAL IMPERVIOUS AREA (B+C)	5,561 SF	1,661 SF	5,800 SF	7,000 SF
Zoning Requirements and Analysis				
Item	Code Requirement	Existing	Proposed	
ZONING CLASSIFICATION	R5S-1	R5S-1	NO CHANGE	
OVERLAY DISTRICT	WISSAHICKON WATERSHED FAIRMOUNT PARK	NA	NA	
WISSAHICKON WATERSHED CATEGORY	5 (NO LIMIT)	5 (NO LIMIT)	NO CHANGE	
STEEP SLOPES	25% OR GREATER: NO SITE CLEARING OR EARTH MOVING ACTIVITY PERMITTED OR 10%-25%: SITE CLEARING OR EARTH MOVING ACTIVITY PERMITTED IN ACCORDANCE WITH EARTH MOVING PLANS APPROVED BY PLANNING COMMISSIONER			
WATERCOURSE SETBACKS IN WATERSHED	NO IMPERVIOUS COVERAGE PERMITTED WITHIN 200' OF BANK OF A BODY OF WATER; NO IMPERVIOUS COVERAGE PERMITTED WITHIN 50' OF CENTERLINE OF SWALE WITHIN WATERSHED			
EARTH DISTURBANCE AREA	NA	NA	1,500 SF	
HISTORICAL DESIGNATION	CHESTNUT HILL HISTORIC DISTRICT ON THE NATIONAL REGISTER	NO SIGNIFICANT	NO CHANGE	
PERMITTED USE	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING	NO CHANGE	
PERMITTED BUILDING TYPE	DETACHED	DETACHED	DETACHED	
MINIMUM LOT AREA	10,000 SF	24,500 SF	NO CHANGE	
MINIMUM LOT WIDTH	75'	75'	NO CHANGE	
FRONT YARD SETBACK	35'	35'	NO CHANGE	
SIDE YARD AND COURT SETBACK	15'	15'	NO CHANGE	
MINIMUM	NA	NA	NA	
EDGE YARD SETBACK AGGREGATE	30'	30'	NO CHANGE	
REAR YARD SETBACK	30'	30'	NO CHANGE	
MAXIMUM OCCUPIED AREA (B/A) CORNER LOT	35%	15.4%	20.6%	
MINIMUM OPEN AREA (A/B/A) CORNER LOT	65%	84.6%	80.0%	
MAXIMUM BUILDING HEIGHT - MEASURED TO MIDPOINT OF ROOF	38'	44'	15' ADDITION	
ACCESSORY BUILDING	PERMITTED	1	NO CHANGE	
ACCESSORY BUILDING SETBACKS	5'	5'	8'-4" - 14'-0"	
ACCESSORY BUILDING HEIGHT	10' FOR FLAT/SHED ROOF; 15' FOR GABLED ROOF	10'	12'-0" GARAGE/STUDIO	
MAXIMUM IMPERVIOUS COVERAGE (%) (DA X 100)	NA	28.2%	35.9%	

2 SITE PLAN  
Z0.1 1" = 10'-0"



**GENERAL SITE PLAN NOTES**

- SITE PLAN INFORMATION TAKEN FROM 02/06/2018.
- PROVIDE HAY BALES, SILTATION FENCES OR OTHER APPROPRIATE EROSION CONTROL MEASURES AROUND CONSTRUCTION SITE AND STORED MATERIALS.
- CLEAN STREET OF ALL DEBRIS AT THE END OF EACH WORK DAY.
- DOWNSPOUTS TO BE CONNECTED TO EXISTING STORM WATER MANAGEMENT SYSTEM.
- CONTRACTOR TO SEED LAWN IN AREAS DISTURBED BY CONSTRUCTION ACTIVITY.
- VERTICAL DATUM IS CITY OF PHILADELPHIA DATUM.
- ALL DIMENSIONS ARE CITY DISTRICT STANDARD EXCEPT DIMENSIONS DENOTED (000.00) AS US STANDARD.

**SITE PLAN LEGEND**

AC	AIR CONDITIONER	GU	GUTTER
BF	BASEMENT FLOOR	GV	GAS VALVE
BW	BOTTOM OF WALL	INV	INVERT
CO	CLEANOUT	SL	STREET LIGHT
D	DRAIN	TG	TOP OF GRATE
DS	DOWNSPOUT	TR	TRASH BIN
FF	FIRST FLOOR	TW	TOP OF WALL
FH	FIRE HYDRANT	UDG	UNDERGROUND
GF	GARAGE FLOOR	UP	UTILITY POLL
GS	GARAGE SILL	WV	WATER VALVE
		WW	WINDOW WELL

--- X X X	FENCE
- - - - -	PROPERTY LINES
---	BUILDING SETBACK LINES
[Grey Box]	INDICATES EXISTING ROOF AREA
[Dark Grey Box]	INDICATES ADDITIONAL ROOF AREA
[White Box with Dotted Pattern]	INDICATES UNCOVERED HARDSURFACE AREA TO BE REMOVED
[White Box with Horizontal Lines]	INDICATES ADDITIONAL UNCOVERED HARDSURFACE AREA

SEAL:

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA  
CLIENT: Ryan & Kerri Farragut

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **JANUARY 10, 2025**

STATUS: **PHC APPLICATION**

REVISION DATE:

No.	Date

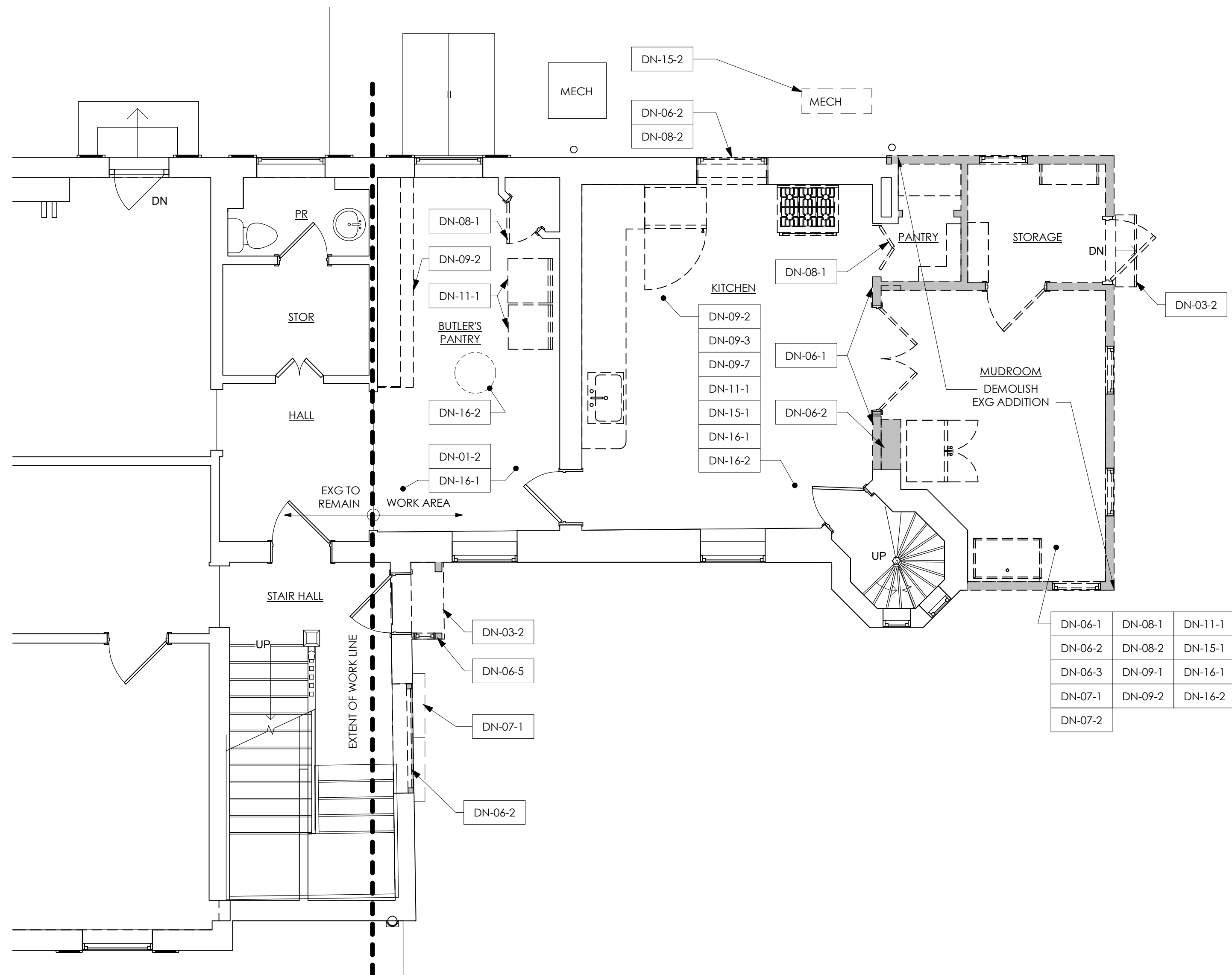
SHEET TITLE: **SITE PLAN**

SHEET NUMBER:

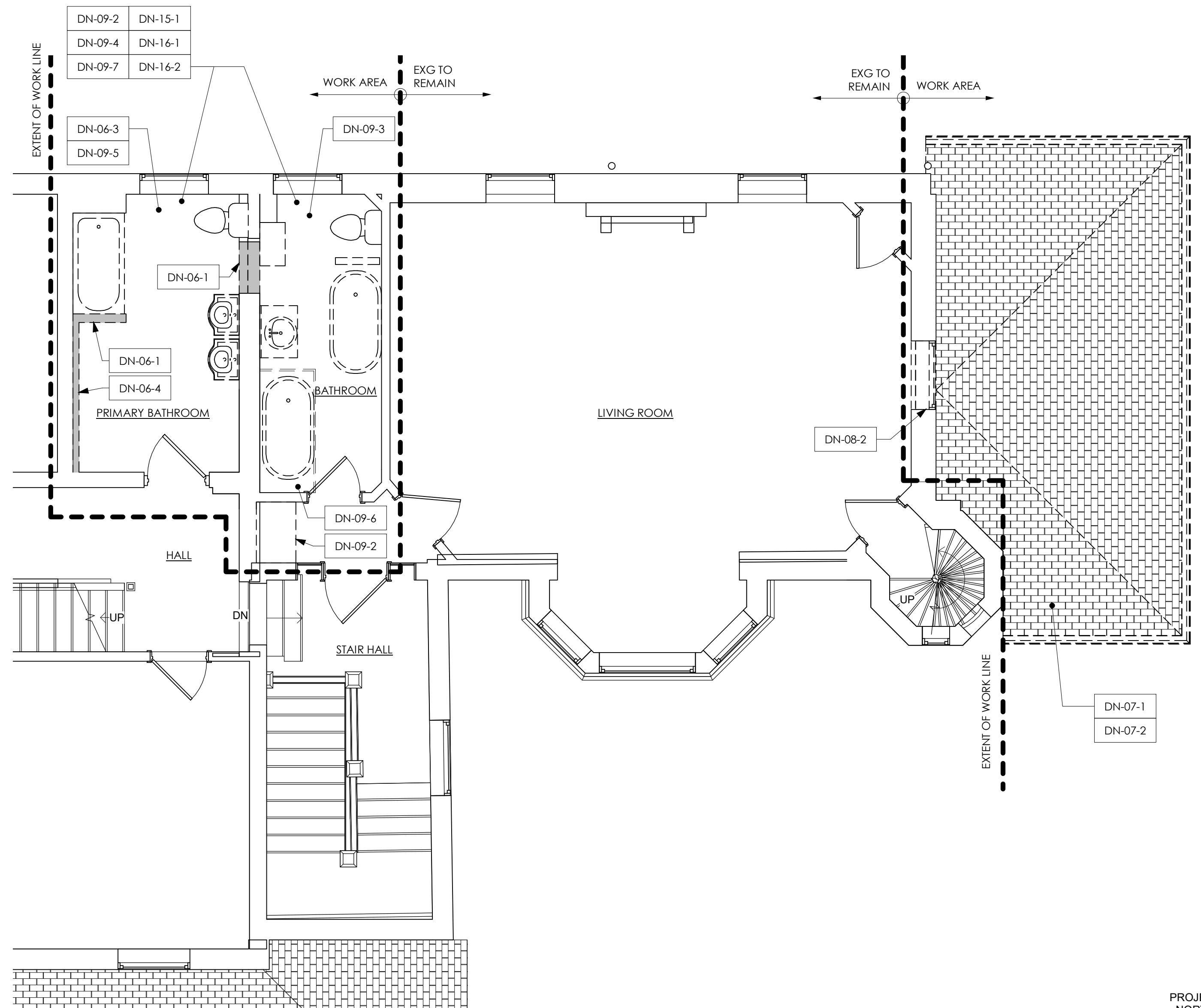
**Z0.1**

farragut@usroofing.com | 610.633.7668





1  
A1.1  
FIRST FLOOR DEMOLITION  
PLAN - PHASE A  
1/4" = 1'-0"



2  
A1.1  
SECOND FLOOR DEMOLITION  
PLAN - PHASE C  
1/4" = 1'-0"

**DEMOLITION PLAN LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING ITEM TO BE DEMOLISHED
- EXISTING WALL TO BE DEMOLISHED

**GENERAL DEMOLITION NOTES**

1. SEE FLOOR PLAN FOR DIMENSIONS AND DETAILS OF PROPOSED OPENINGS IN EXISTING BUILDING.
2. SALVAGE EXISTING DOORS FOR RE-USE. UNO.
3. DEMOLITION WORK BY GC. UNO.
4. ASSESS THE EXISTING MECHANICAL AND ELECTRICAL SYSTEMS TO VERIFY THAT EXISTING IS ADEQUATE TO SUPPORT PROPOSED WORK.
5. DEMOLITION PERMIT SET IS FOR NON-STRUCTURAL DEMOLITION ONLY.

KEYNOTE NUMBER	DESCRIPTION OF WORK
DN-01-2	EXISTING FLOORING TO REMAIN.
DN-03-2	REMOVE EXISTING CONCRETE STAIR AND/OR LANDING.
DN-06-1	REMOVE EXISTING INTERIOR PARTITION, INCLUDING WALL FRAMING AND FINISH MATERIAL.
DN-06-2	REMOVE EXISTING EXTERIOR WALL INCLUDING FRAMING, SHEATHING, INSULATION AND FINISH MATERIALS.
DN-06-3	REMOVE EXISTING CEILING AND/OR SOFFIT, INCLUDING FRAMING AND FINISH MATERIAL.
DN-06-4	REMOVE EXISTING FURRED OUT PARTITION, INCLUDING FRAMING AND FINISH MATERIAL.
DN-06-5	REMOVE EXISTING ENTRY SURROUND, WINDOW, SOFFIT, AND ROOF.
DN-07-1	REMOVE EXISTING FINISH ROOFING MATERIAL, INCLUDING UNDERLAYMENT AND RELATED ROOF FLASHING.
DN-07-2	REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL HANGERS AND ACCESSORIES.
DN-08-1	REMOVE DOOR, FRAME, AND HARDWARE. SEE GENERAL DEMOLITION NOTES FOR ADDITIONAL INFORMATION.
DN-08-2	REMOVE WINDOW AND FRAME. SALVAGE FOR REUSE.
DN-09-1	REMOVE EXISTING FLOOR FINISHES AND SUBFLOOR.
DN-09-2	REMOVE EXISTING CABINETS/CASEWORK.
DN-09-3	REMOVE EXISTING WALL TILE. SALVAGE FOR REUSE.
DN-09-4	REMOVE EXISTING WOOD WAINSCOT. SALVAGE FOR REUSE.
DN-09-5	RETAIN HARDWOOD FLOORING AT UPPER LEVEL PRIMARY BATHROOM. PATCH AND REFINISH; PREP FLOOR TO RECEIVE SALVAGED AND PROPOSED MARBLE INSERTS BENEATH TOILET AND TUB.
DN-09-6	REMOVE EXISTING MARBLE/STN FLOOR INSERTS. SALVAGE FOR REUSE.
DN-09-7	REMOVE EXISTING FLOOR FINISHES AND PREP SUBFLOOR FOR PROPOSED WORK.
DN-11-1	REMOVE EXISTING APPLIANCE(S) AND SALVAGE FOR REUSE.
DN-15-1	REMOVE EXISTING PLUMBING FIXTURE AND/OR FAUCET. SALVAGE FOR REUSE.
DN-15-2	REMOVE AND RELOCATE EXISTING MECHANICAL EQUIPMENT AS REQUIRED FOR PROPOSED WORK.
DN-16-1	REMOVE EXISTING ELECTRICAL DEVICES, SWITCHES, AND OUTLETS.
DN-16-2	REMOVE EXISTING LIGHTING FIXTURES AND SALVAGE FOR REUSE.

**Work By Owner Schedule**

ITEMS TO BE PURCHASED, DELIVERED AND INSTALLED BY OWNER UNO; CONTRACTOR TO COORDINATE SCHEDULE WITH OWNER  
THE FOLLOWING ITEMS ARE THE RESPONSIBILITY OF THE OWNER AND ARE NOT IN THE CONTRACT SUM:

Item	Description
LANDSCAPING (AND ON-SITE STORM WATER MANAGEMENT SYSTEM)	LANDSCAPING (AND ON-SITE STORM WATER MANAGEMENT SYSTEM) TO BE PURCHASED AND INSTALLED BY OWNER.
ROOFING (EXCLUDING SHEATHING)	PROPOSED ROOFING, EXCLUDING SHEATHING, TO BE PURCHASED AND INSTALLED BY OWNER.
APPLIANCES	APPLIANCES TO BE PURCHASED AND INSTALLED BY OWNER.
CABINETS	CABINETS TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR OR OTHERS.
SECURITY SYSTEM	CONTRACTOR TO COORDINATE INSTALLATION BY OTHERS.
CABLE/SATELLITE DISH/DATA WIRING	CABLE/SATELLITE DISH/DATA WIRING TO BE PURCHASED AND INSTALLED BY OWNER.
AUDIO/VISUAL SYSTEM	AUDIO/VISUAL SYSTEM, INCLUDING SPEAKERS AND WIRING, TO BE PURCHASED AND INSTALLED BY OWNER.
WINDOW TREATMENTS	BLINDS, DRAPES AND INTERIOR SHUTTERS TO BE PURCHASED AND INSTALLED BY OWNER.
PRIMARY BATHROOM MIRROR	PRIMARY BATHROOM MIRROR TO BE PROVIDED AND INSTALLED BY OWNER.

**Alternate Schedule**

AN ALTERNATE IS AN AMOUNT PROPOSED BY BIDDER FOR CERTAIN WORK THAT MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF OWNER ACCEPTS THE ALTERNATE.  
THE COST OR CREDIT FOR EACH ALTERNATE IS THE ADDITION TO OR DEDUCTION FROM CONTRACT SUM TO INCORPORATE THE ALTERNATE INTO THE WORK.  
NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.  
INDICATE ON THE BID FORM AMOUNTS TO BE DEDUCTED FROM OR ADDED TO CONTRACT SUM FOR THE FOLLOWING ALTERNATES:

Item	Description
ALTERNATE NUMBER 1	PROVIDE IN-FLOOR HEATING AT GARAGE SLAB
ALTERNATE NUMBER 2	PROVIDE NEW WINDOWS AT MUDROOM ADDITION
ALTERNATE NUMBER 3	PROVIDE @ GARAGE 1ST FLOOR WALLS: 8" CMU W/ 3-5/8" MTL STUD FURRING; FILL FURRING CAVITIES W/ 2LB HIGH DENSITY CLOSED-CELL SPRAY FOAM INSULATION (R-20 MIN) + 5/8" GWB WALL FINISH

SEAL:

KEY PLAN:

CONSULTANTS:

CONSULTANTS:

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA

ARCHITECT PROJECT NUMBER:  
**2307**

ISSUE DATE:  
**JANUARY 10, 2025**

STATUS:  
**PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE:  
**DEMOLITION PLANS & SCHEDULES**

SHEET NUMBER:

**A1.1**

CLIENT: **Ryan & Kerri Farragut**  
rfarragut@usroofing.com | 610.633.7668

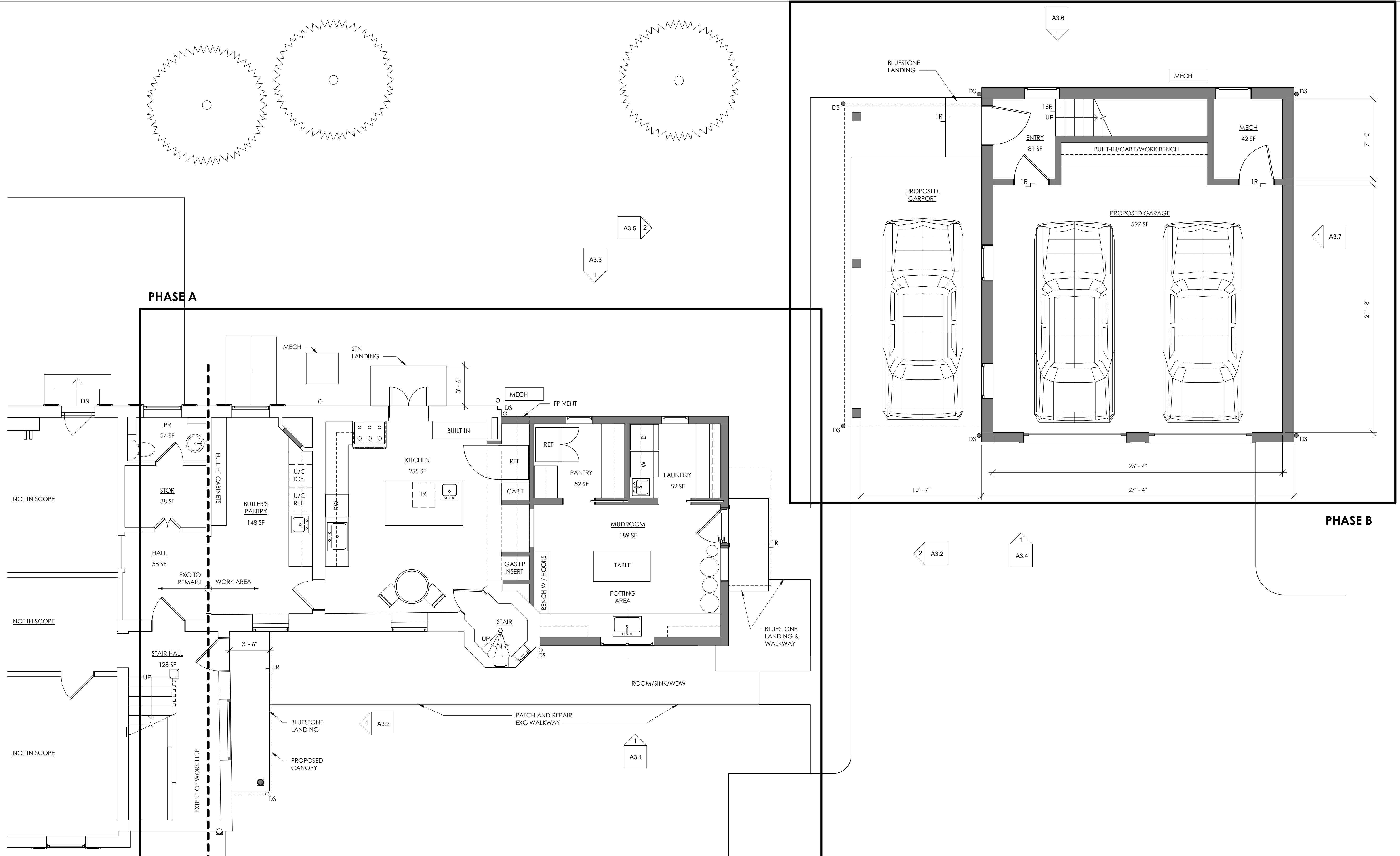
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING BUT NOT LIMITED TO, SPECIAL, CONSEQUENTIAL, AND PUNITIVE DAMAGES, ARISING FROM THE USE OF THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

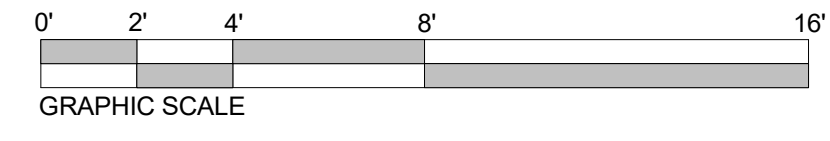
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 FIRST FLOOR PLAN  
A2.1 1/4" = 1'-0"



**GENERAL PLAN NOTES**

1. PROPOSED WALLS ARE TO ALIGN WITH EXISTING ADJACENT WALLS UNO.
2. CASED OPENINGS THAT APPEAR TO BE CENTERED BETWEEN ADJACENT PERPENDICULAR WALLS SHOULD BE CENTERED UNLESS NOTED OTHERWISE.
3. DOORS AND WINDOWS ARE TYPICALLY OFFSET TRIM WIDTH FROM ADJACENT PERPENDICULAR PARTITION AT INSIDE CORNER.
4. SOILSTACK LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS WITH HVAC AND PLUMBING SUBCONTRACTOR.

**FLOOR PLAN LEGEND**

- EXISTING WALL TO REMAIN
- NEW WALL
- - - UPPER CABINETS

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **JANUARY 10, 2025**

STATUS: **PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE:

**FIRST FLOOR PLAN**

SHEET NUMBER:

**A2.1**



SEAL:

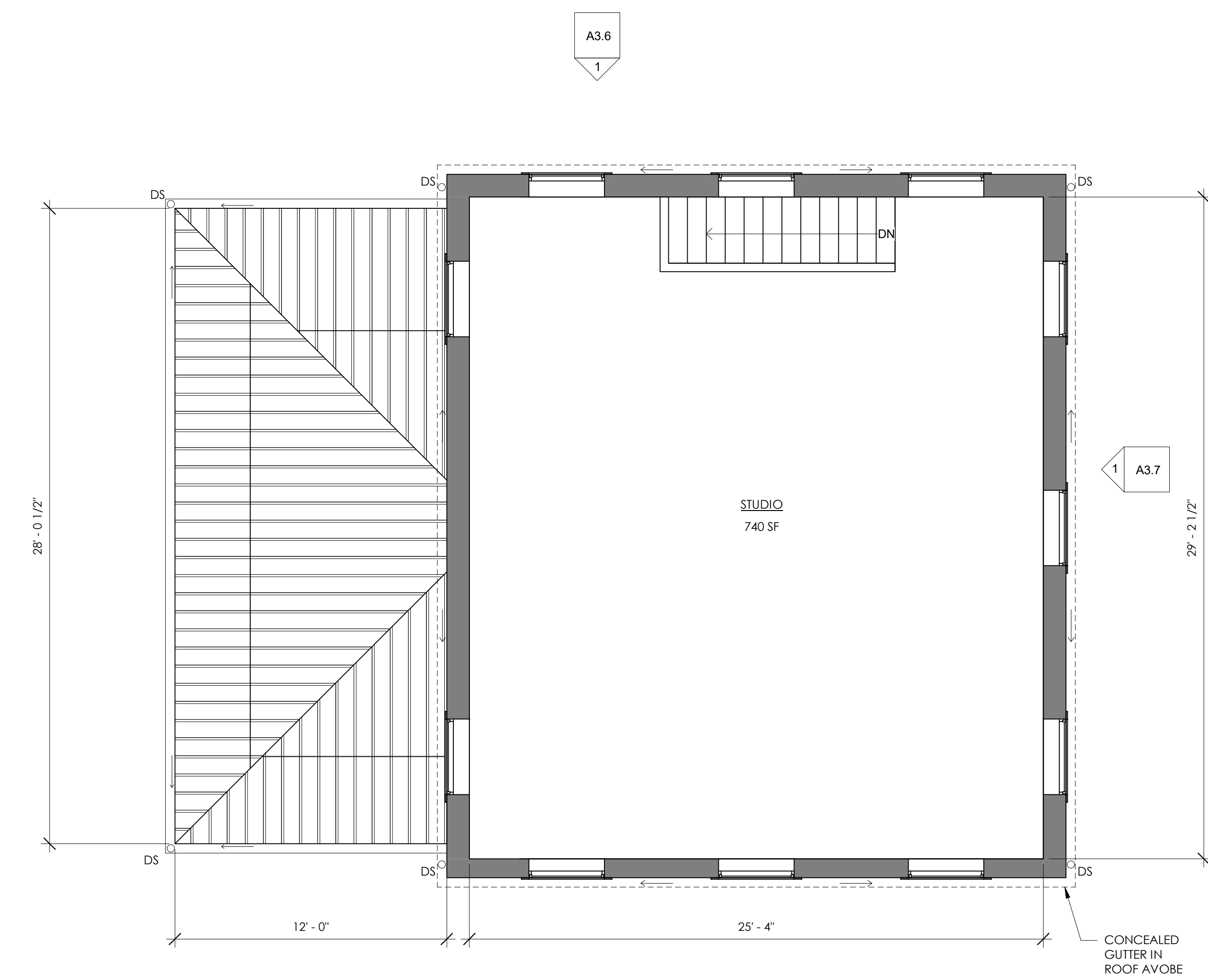
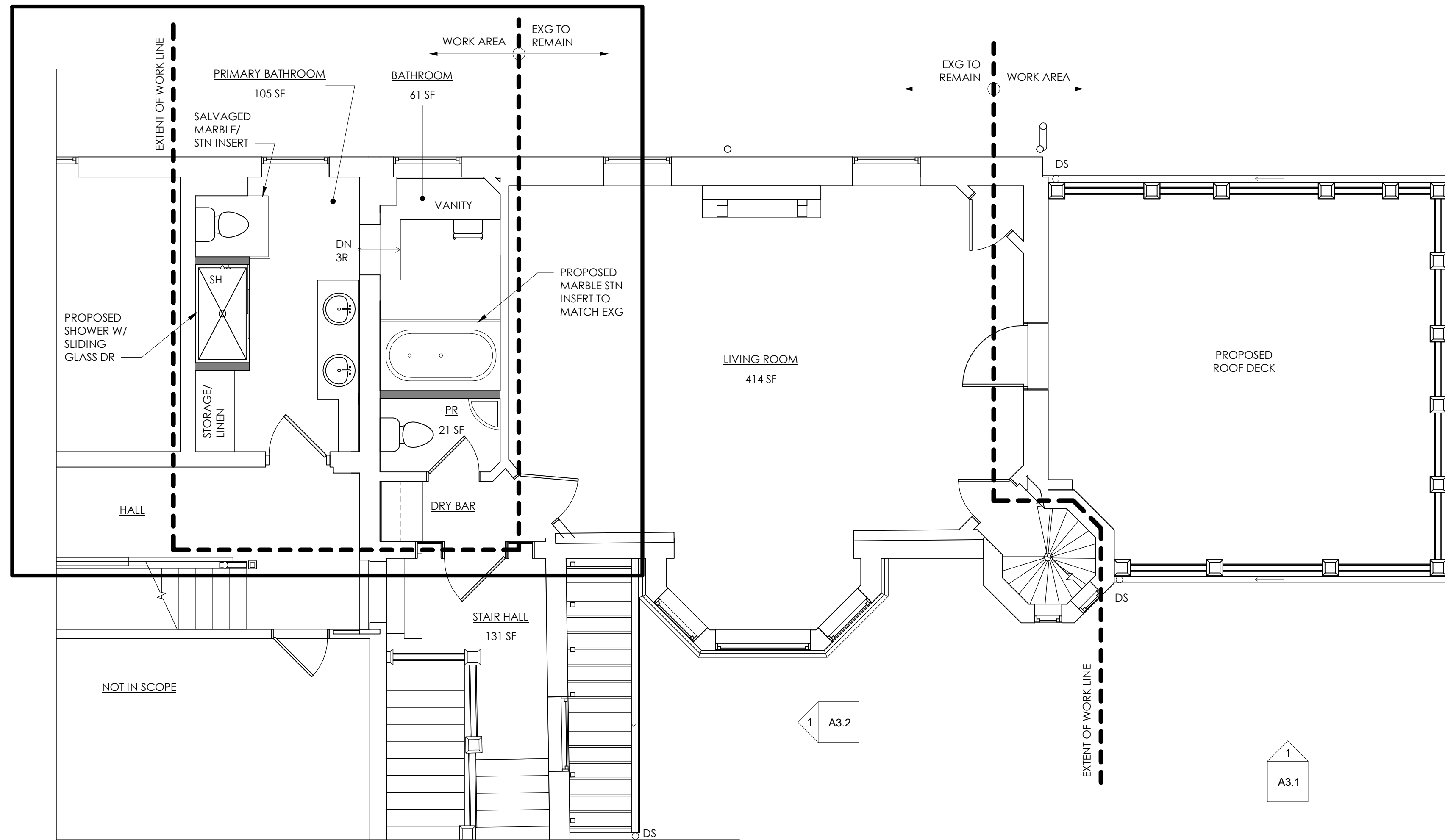
KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, REPRESENTATIONS AND OTHER RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. ©2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

KEY PLAN:

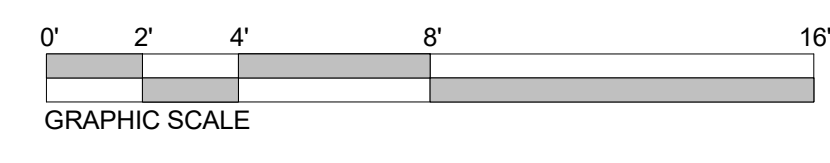
CONSULTANTS:

CONSULTANTS:

**PHASE C - BY OTHERS**



1  
A2.2 SECOND FLOOR PLAN - ALT  
1/4" = 1'-0"



**GENERAL PLAN NOTES**

1. PROPOSED WALLS ARE TO ALIGN WITH EXISTING ADJACENT WALLS UNO.
2. CASED OPENINGS THAT APPEAR TO BE CENTERED BETWEEN ADJACENT PERPENDICULAR WALLS SHOULD BE CENTERED UNLESS NOTED OTHERWISE.
3. DOORS AND WINDOWS ARE TYPICALLY OFFSET TRIM WIDTH FROM ADJACENT PERPENDICULAR PARTITION AT INSIDE CORNER.
4. SOILSTACK LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS WITH HVAC AND PLUMBING SUBCONTRACTOR.

**FLOOR PLAN LEGEND**

- EXISTING WALL TO REMAIN
- NEW WALL
- UPPER CABINETS

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA  
CLIENT: **Ryan & Kerri Farragut**

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **JANUARY 10, 2025**

STATUS: **PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE: **SECOND FLOOR PLAN**

SHEET NUMBER:

**A2.2**

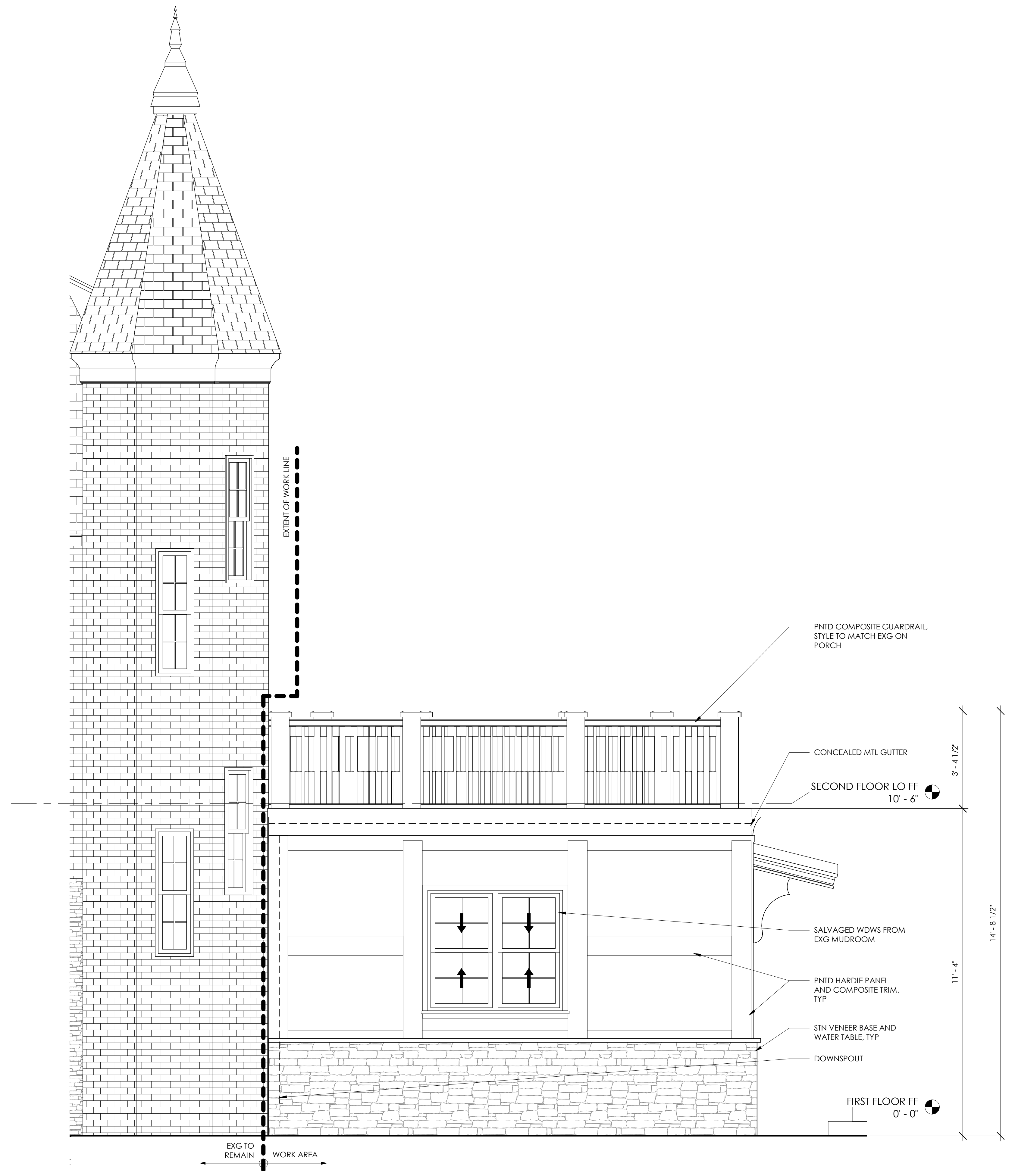
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. © 2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

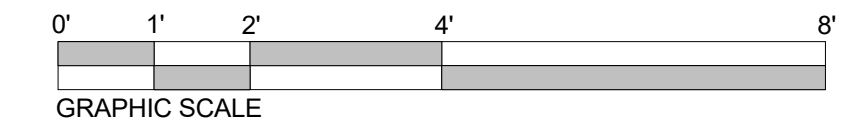
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 ADDITION ELEVATION SOUTH  
A3.1 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**  
rfarragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **JANUARY 10, 2025**

STATUS: **PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE: **EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

**A3.1**

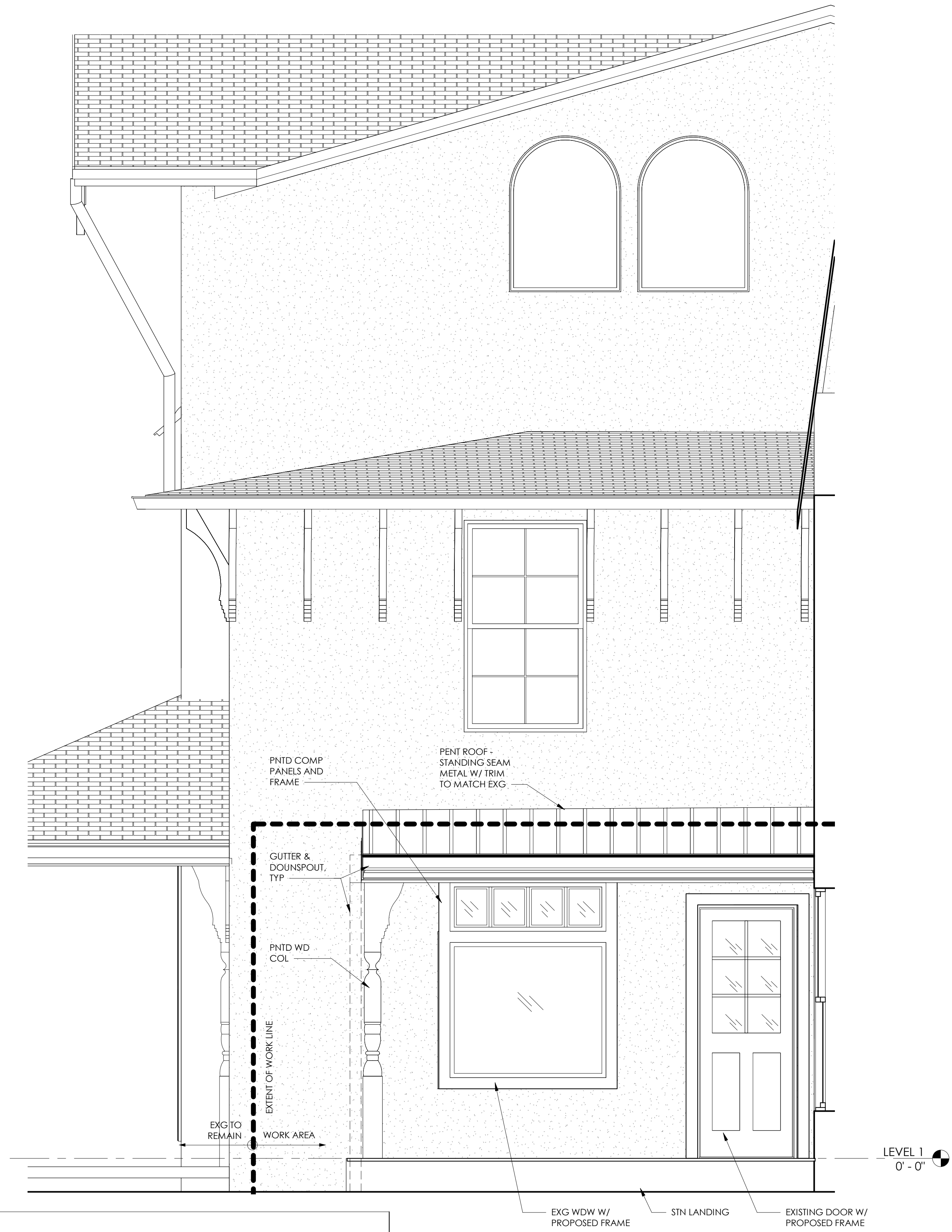
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. reserves the right to copyright and other property rights in these plans. These plans are not to be reproduced, copied, or used in any way without the express written consent of Krieger + Associates, Architects, Inc. ©2024 Krieger + Associates, Architects Inc.

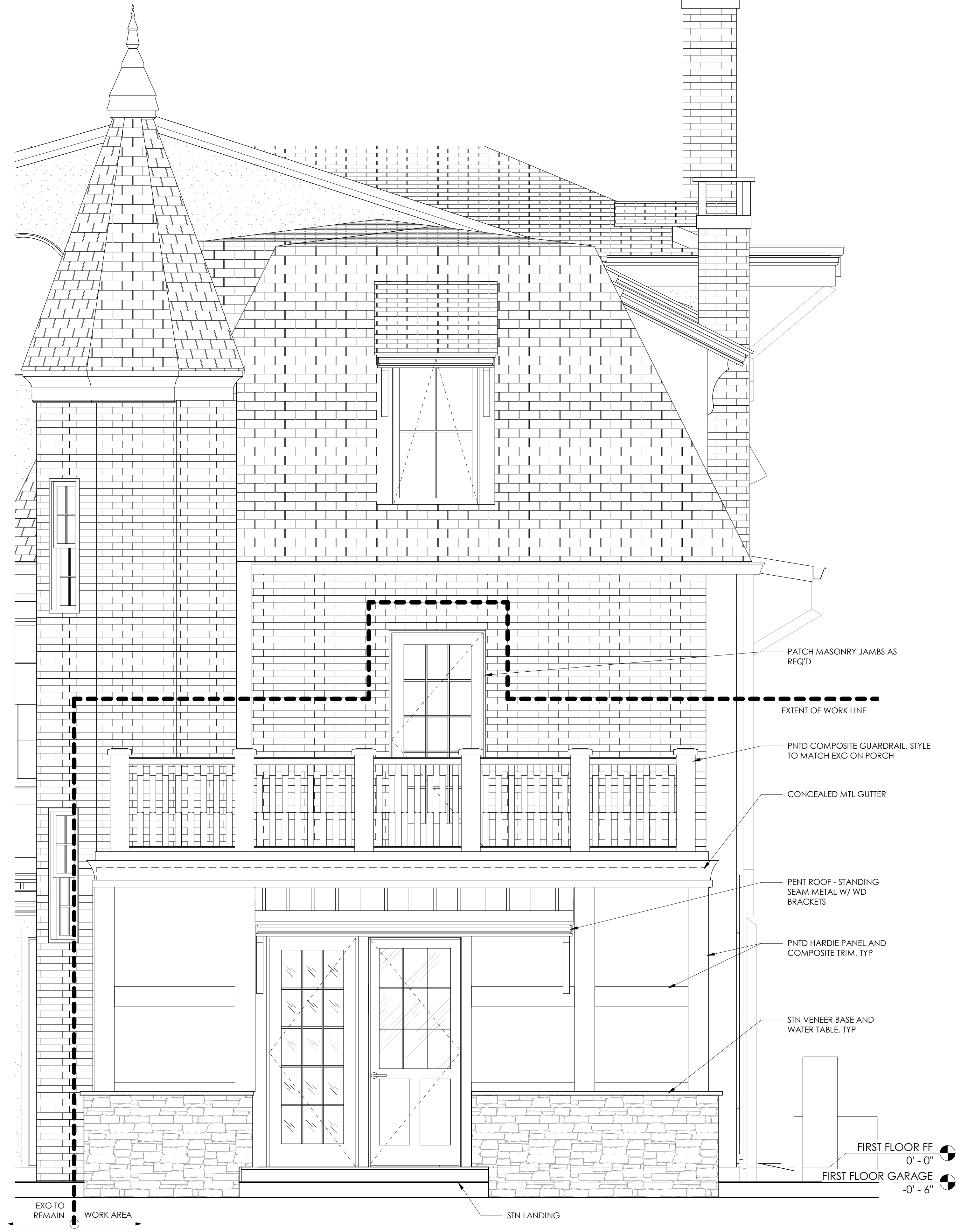
KEY PLAN:

CONSULTANTS:

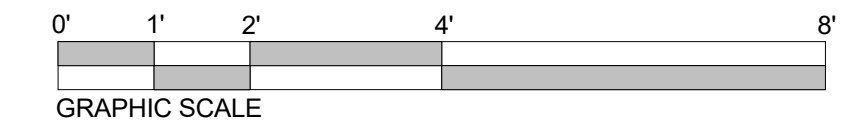
CONSULTANTS:



1 ENTRY ELEVATION  
A3.2 1/2" = 1'-0"



2 ADDITION ELEVATION EAST  
A3.2 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA  
CLIENT: **Ryan & Kerri Farragut**  
farragut@usroofing.com | 610.633.7668

ARCHITECT PROJECT NUMBER:  
**2307**

ISSUE DATE:  
**JANUARY 10, 2025**

STATUS:  
**PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE:  
**EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

**A3.2**



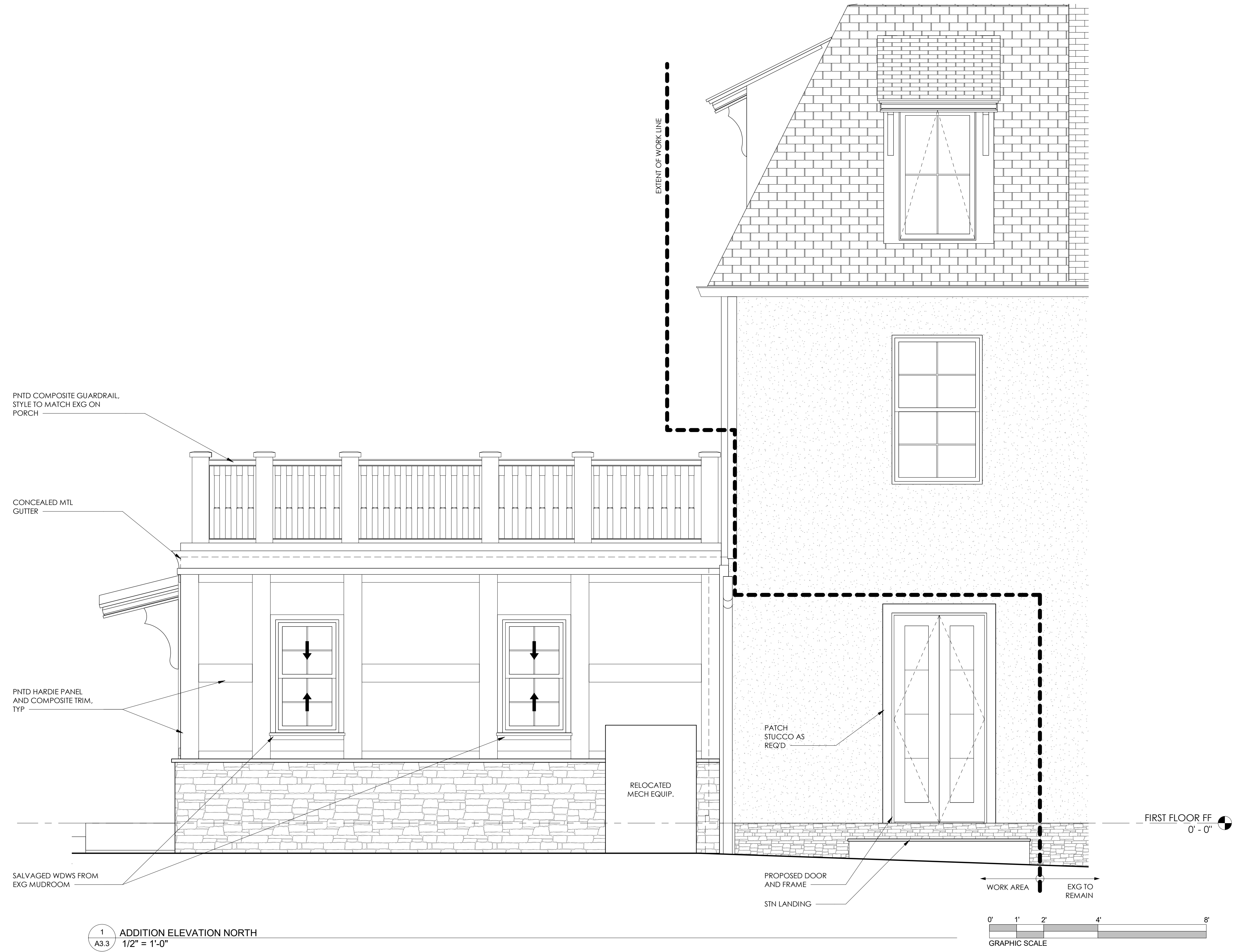
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. reserves the right to correct any errors and other property rights in these plans. These plans are not to be reproduced, copied, or used for any other purpose without the express written consent of Krieger + Associates, Architects, Inc. © 2024 Krieger + Associates, Architects Inc.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 ADDITION ELEVATION NORTH  
A3.3 1/2" = 1'-0"

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA

ARCHITECT PROJECT NUMBER:  
**2307**

ISSUE DATE:  
**JANUARY 10, 2025**

STATUS:  
**PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE:  
**EXTERIOR ELEVATION - ADDITION**

SHEET NUMBER:

**A3.3**

CLIENT:  
**Ryan & Kerri Farragut**  
rfarragut@usroofing.com | 610.633.7688



SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, REPRESENTATIONS AND CONDITIONS OF ANY KIND, WHETHER WRITTEN OR IMPLIED, IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. © 2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

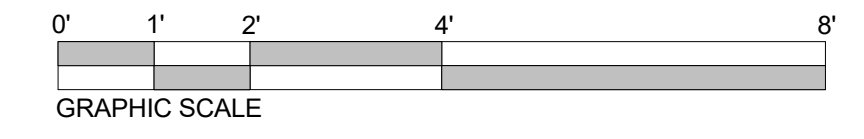
KEY PLAN:

CONSULTANTS:

CONSULTANTS:



1 GARAGE ELEVATION SOUTH  
A3.4 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA  
CLIENT: **Ryan & Kerri Farragut**  
farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:  
**2307**

ISSUE DATE:  
**JANUARY 10, 2025**

STATUS:  
**PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE:  
**EXTERIOR ELEVATION - GARAGE**

SHEET NUMBER:

**A3.4**



SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. reserves the right to correct any errors and other property rights in these plans. These plans are not to be reproduced, copied, or otherwise used without the express written consent of Krieger + Associates, Architects, Inc. ©2024 Krieger + Associates, Architects Inc.

KEY PLAN:

CONSULTANTS:

CONSULTANTS:



2 GARAGE ELEVATION WEST  
A3.5 1/2" = 1'-0"

PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA  
CLIENT: **Ryan & Kerri Farragut**  
farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:  
**2307**

ISSUE DATE:  
**JANUARY 10, 2025**

STATUS:  
**PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE:  
**EXTERIOR ELEVATION - GARAGE**

SHEET NUMBER:

**A3.5**



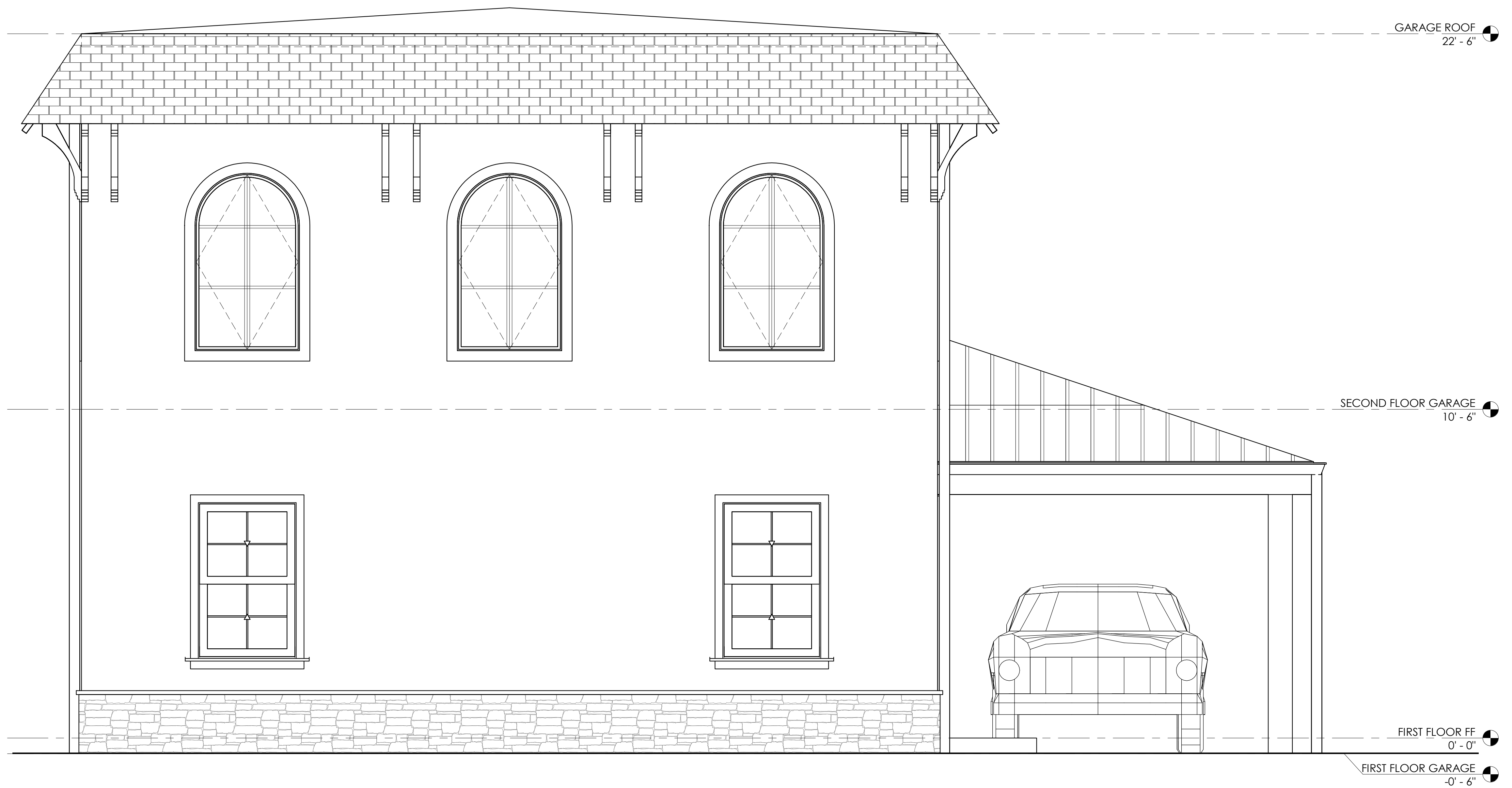
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. EXPRESSLY DISCLAIMS ALL WARRANTIES, INCLUDING MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KRIEGER + ASSOCIATES ARCHITECTS INC. © 2024 KRIEGER + ASSOCIATES ARCHITECTS INC.

KEY PLAN:

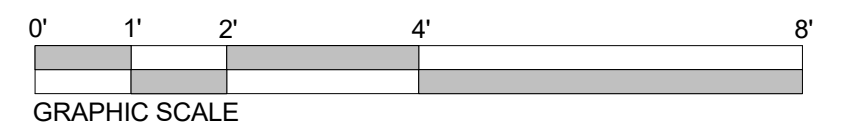
CONSULTANTS:

CONSULTANTS:



SEE TYPICAL NOTES ON 1/A3.4

1 GARAGE ELEVATION NORTH  
A3.6 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**

farragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER: **2307**

ISSUE DATE: **JANUARY 10, 2025**

STATUS: **PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE: **EXTERIOR ELEVATION - GARAGE**

SHEET NUMBER:

**A3.6**



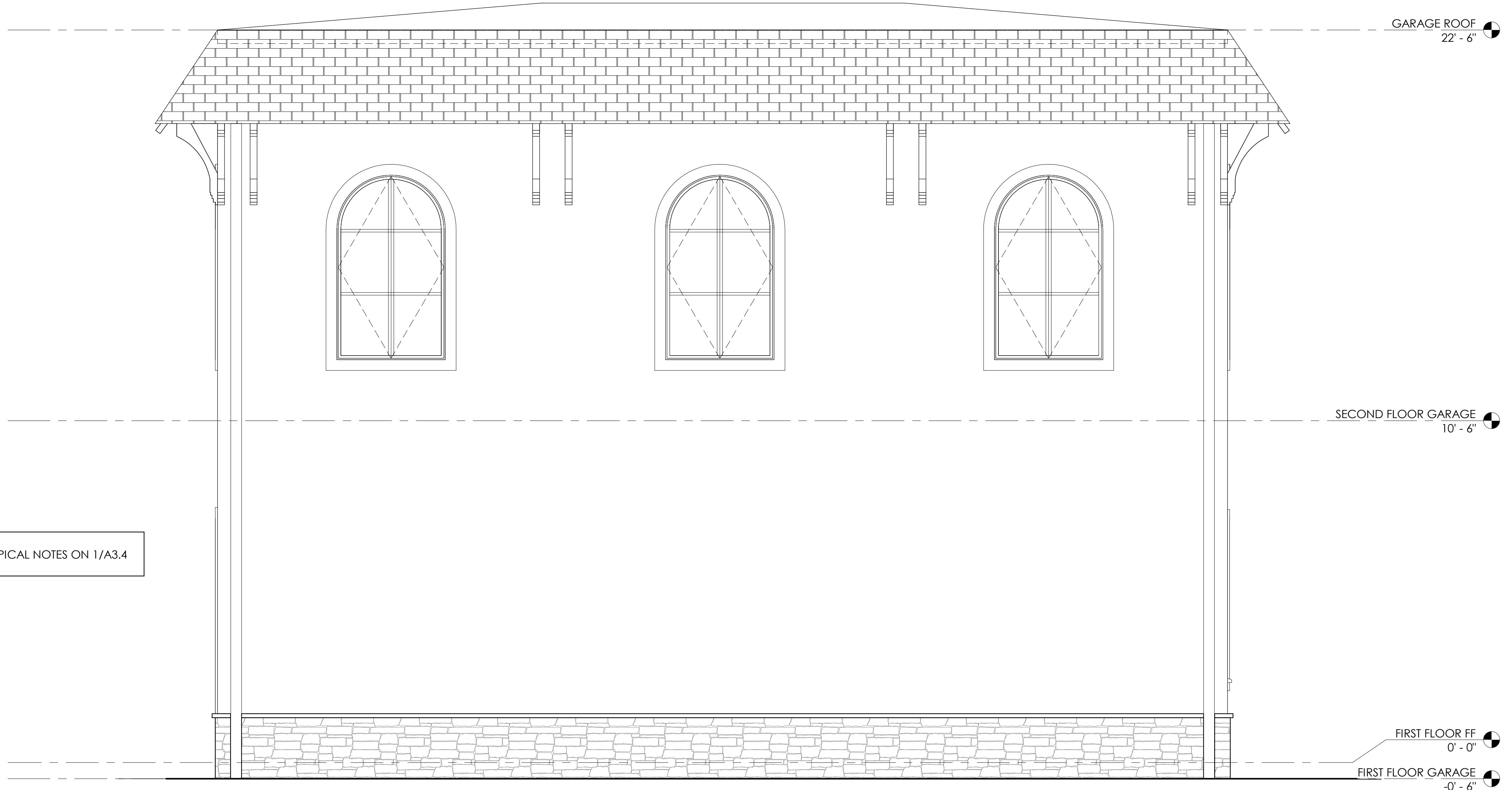
SEAL:

KRIEGER + ASSOCIATES ARCHITECTS INC. reserves all rights in these plans. These plans are not to be reproduced, copied, or used for any purpose without the express written consent of Krieger + Associates, Architects, Inc. ©2024 Krieger + Associates.

KEY PLAN:

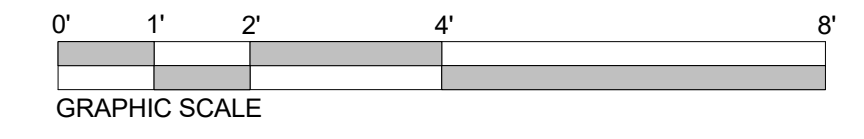
CONSULTANTS:

CONSULTANTS:



SEE TYPICAL NOTES ON 1/A3.4

1 GARAGE ELEVATION EAST  
A3.7 1/2" = 1'-0"



PROJECT: **FARRAGUT RESIDENCE**  
100 Summit Street, Philadelphia, PA, USA

CLIENT: **Ryan & Kerri Farragut**  
rfarragut@usroofing.com | 610.633.7688

ARCHITECT PROJECT NUMBER:  
**2307**

ISSUE DATE:  
**JANUARY 10, 2025**

STATUS:  
**PHC APPLICATION**

REVISION DATE:

No.	Date

SHEET TITLE:  
**EXTERIOR ELEVATION - GARAGE**

SHEET NUMBER:

**A3.7**